



**Planning Commission  
Regular Meeting  
March 19, 2019  
7:00p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MINUTES

-February 19, 2019 Regular Meeting

5. CORRESPONDENCE / BOARD REPORTS

6. APPROVAL OF AGENDA
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS

**A. SPR 2019-02** McDonalds located at 1963 E. Remus Rd. Owner: McDonald's USA LLC (*Review and approve final site plan*)

**B. SPR 2019-03** SOS Holding LLC, located at 5316 E. Pickard Rd. Owner: SOS Holding LLC (*Review and approve final site plan*)

**C. Election of Officers**

9. OTHER BUSINESS
10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue
11. FINAL BOARD COMMENT
12. ADJOURNMENT



## Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squattrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2022
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Secretary	Jake	Hunter	12/31/2019
4- Vice Secretary	Andy	Theisen	12/31/2019
5	Taylor	Sheahan-Stahl	12/31/2021
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	vacant seat		2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2020
2	James	Thering	12/31/2020
3	Bryan	Neyer	12/31/2020
Alt #1	Mary Beth	Orr	1/25/2019
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Laura	Coffee	12/31/2018
2	Mike	Lyon	12/31/2018
3	Jay	Kahn	12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Jakubiec	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2020
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



## Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2019
2	James	Zalud	4/14/2019
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2023
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2019
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2019
2 PC Representative	Denise	Webster	8/15/2020
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2020
5 Member at large	Connie	Bills	8/15/2019

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Regular Meeting**

A regular meeting of the Charter Township of Union Planning Commission was held on February 19, 2019 at the Township Hall.

**Meeting was called to order at 7:00 p.m.**

**Roll Call**

Present: Buckley, Clerk Cody, Darin, Fuller, LaBelle, Squatrito, and Webster

Excused: Mielke and Shingles

**Others Present**

Township Planner, Peter Gallinat and Secretary, Jennifer Loveberry

**Approval of Minutes**

**Webster** moved **Cody** supported the approval of the December 13, 2018 special meeting minutes as presented. Approval of the January 15, 2019 regular meeting as amended, adding clarification to SUP 2010-1 motion language. **Vote: Ayes: 7 Nays: 0. Motion carried.**

**Correspondence / Reports**

- Township Planner Gallinat shared continuing education on March 6, 2019, if interested please confirm so he and complete sign up. Also shared that he is going to be reaching out to the City to see if they have interest in doing another joint education through MAP
- Clerk Cody reported that the Board of Trustees reappointed Buckley, Darin, LaBelle to the Planning Commission with terms ending 2/15/2022.

**Approval of Agenda**

**Webster** moved **LaBelle** supported approval of the agenda as presented. **Vote: Ayes: 7 Nays 0. Motion carried.**

**Public Comment – 7:17 p.m.**

No comments were offered.

**New Business**

- A. SPR 2019-01 Grafx Central expansion located at 1580 S. Park Place St. Owner Jerry St. Andre (Review and approve final site plan)**

Introduction by Township Planner

Applicants John, JBS and Jeremy, Grafx Central presented request to add 26’8”x60’ addition to the existing 80’x60’ principle building. Approvals received from Mt. Pleasant Fire Department, Isabella County Transportation Commission, and Township Utilities have been received. Isabella County Drain Commission for storm water have been submitted. ICRC approval is not warranted due to location being a private drive. Provisional relief from construction of sidewalks have been requested.

**LaBelle** moved **Darin** supported to approve SPR 2019-01 Grafx Central expansion located at 1580 S. Park Place St. Owner: Jerry St. Andrew, with the following conditions: approval of storm water management and provisional relief of sidewalks (less than 50% of the surveyed sections of the township along the road fronting the proposed development has sidewalks).

**Vote: Ayes: 7 Nays: 0 Motion carried.**

**Other Business**

**Extended Public Comment**

Open 7:30 p.m.

No comments were offered.

**Final Board Comment**

Buckley – Shared that CMU Board of Trustee had a presentation of potential future use of the SmartZone area, which neighbors the Township, thought that the Commission may want to watch the presentation online

Township Planner shared that there will be a special meeting in March to review Part 1 of the Zoning Ordinance Re-write.

**Adjournment** – Chairman Squattrito adjourned the meeting at 7:35 p.m.

**APPROVED BY:**

\_\_\_\_\_  
Alex Fuller - Secretary  
Mike Darin – Vice Secretary

*(Recorded by Jennifer Loveberry)*



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

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TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: A) SPR 2019-02 McDonalds 1963 E. Remus Rd.**

**Applicant:** Dorchen Martin Associates

**Owner:** McDonalds USA LLC

**Location:** 1963 E. Remus Rd. MT PLEASANT, MI 48858

**Current Zoning:** B-5 (Highway Business District)

**Adjacent Zoning:** B-5

**Future Land Use/Intent:** Retail Service: This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.

**Current Use:** Existing fast food restaurant with drive thru.

**Reason for Request:** Addition of 2<sup>nd</sup> drive thru on site.

**History:** At this time, I have received approval from the following required outside agencies. Township Utilities (for site plan approval only), Mt. Pleasant Fire Department, Isabella County Transportation Commission, Isabella County Road Commission. I have not received approval from the Isabella County Drain Office for Storm Water Management or from MDOT for Remus Rd (M-20 West) Applicant has been in contact with both agencies. The applicant has requested provisional relief from sidewalk construction along Remus Rd. The applicant intends to seek a variance for relief from required sidewalk construction along Lincoln Rd. (Lincoln Rd. between Remus and Pickard is a designated priority street).

**Objective of board:** Final site plan was received 14 days (02-26-2019) before our regular scheduled meeting on March 19, 2019. The Planning Commission shall study the site plan and shall, within sixty days of its submittal to the Zoning Official, either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated

**Recommendation from Township Planner**

Site Plan could be approved on the condition that applicant obtains approval for storm water management from the Isabella County Drain Office, MDOT for Remus Rd and is granted a variance for sidewalk construction along Lincoln Rd. Bruce Rohrer who reviews storm water plans for the Twp has missed most of the year due to health.

Peter Gallinat  
Township Planner

## Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Final Site Plan Review
- II. Applicant Name Dorchen/Martin Associates, Inc. (Frank Z. Martin, AIA)
- III. Applicant Address 29895 Greenfield Rd, Suite 107, Southfield, MI 48076
- IV. Applicant Phone 248.557.1062 Owner Phone 989.323.0919
- V. Applicant is (circle) ~~Contractor~~ ~~Architect/Engineer~~ ~~Developer~~ ~~Land Owner~~ ~~(skip V& VI)~~  
Other
- VI. Land Owner Name McDonald's USA LLC
- VII. Land Owner Address 1021 Karl Greimel Drive, #200, Brighton, MI 48116
- VIII. Project/Business Name McDonald's Restaurant 1963 E. Remus Road
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	Ex'g	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911. ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	Ex'g	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	Yes	Sgt Randy Keeler (989) 779-5122. (2) copies
Isabella Co Transportation Commission (ICTC)	yes	Rick (989) 773 2913, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	N/A	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
<b>PERMIT INFORMATION - DEQ Check List</b>		
<b>SITE PLAN REQUIREMENTS</b>	<b>I Of</b>	<b>Comments - (also indicate any features which will not be included in the development or are not applicable)</b>
Name and addresses of Property Owner	X	
Name and Address of Applicant	X	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	X	

## Union Township Site Plan Review Application 2015 Revision


The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	x	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	x	Building is existing an no additons are proposed
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - -	x	
drives,-----	x	
sidewalks. (required ) -----	x	
curb openings, -----	x	
acceleration/deceleration lanes, -----	x	
signs, -----	x	
exterior lighting on buildings and parking lots, - -	x	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----		
recreation areas, -----		
common use areas, -----		
areas to be conveyed for public use and purpose. -		
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	x	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	x	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	x	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	x	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	x	





**Union Township Site Plan Review Application 2015 Revision**

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

  
\_\_\_\_\_  
Signature of Applicant

2/22/19  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Owner (if other than applicant)

FEB. 22/19  
\_\_\_\_\_  
Date

PLEASE PLACE OUR REVIEW ON THE 3/19/19 (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative WILL /WILL NOT attend. You will not receive a reminder of the scheduled meeting.

**Union Township Site Plan Review Application 2015 Revision**

<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	
	_____

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: McDonald's Restaurant

Name of business owner(s): McDonald's USA LLC  
Jim Molyneux, Owner/Operator

Street and mailing address: 1963 E. Remus Rd  
Mt. Pleasant, MI 48858

Telephone: \_\_\_\_\_

Fax: 989.773.1014

Email: james.molyneux@partners.mcd.com

**I affirm that the information submitted is accurate.**

Owner(s) signature and date: McDonald's USA LLC (John Lorentzen, ACM)

Information compiled by: Dorchen/Martin Associates, Inc. (Frank Z. Martin, AIA)

## Part 1: Management of Hazardous Substances and Polluting Materials

1. Y(N) Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y(N) ~~Will you store~~ on-site?
3. Y(N)    Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y(N) Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y(N) Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y(N)       Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
  - b. on-site system
- The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y(N) Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works





## PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
<b>MISCELLANEOUS CONSTRUCTION</b>			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <a href="#">Permit Section</a>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <a href="#">Asbestos Program</a>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <a href="#">Land and Water Management Decision Tree</a> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <a href="#">Joint Permit Application</a>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Soil Erosion and Construction Storm Water</a> , or Contact your <a href="#">Local Agency</a>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <a href="#">Storm Water Permits Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Public Swimming Pool Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, <a href="#">Threatened and Endangered Species Program</a> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <a href="#">District Office</a> , WRD, Part 41 <a href="#">Construction Permit Program</a>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <a href="#">Solid Waste</a> , Appropriate <a href="#">DEQ District Office</a>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, <a href="#">Treatment, Storage and Disposal</a>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>, select "drinking water")</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <a href="#">Local Water Utility</a>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <a href="#">Local Health Department</a>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Guide</a> , Contact your (District or County) <a href="#">Local Health Department</a>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Community Water Supply</a> , <a href="#">DEQ District Office Community Water Supply Program</a>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Office of Oil, Gas and Minerals (OOGM)</u>
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>



Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control</u> and Remedial Action Unit
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

<b>Water or Groundwater)?</b>			
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>			
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>			
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

17109  
101518

STATE OF MICHIGAN  
COUNTY OF ISABELLA  
RECEIVED FOR RECORD

IS-119029 OCT 30 3 25 PM '95

WARRANTY DEED

SHARON A. BROWN  
REGISTER OF DEEDS

KNOW ALL MEN BY THESE PRESENTS: That HAUCK/ENGLER AND ASSOCIATES, INC., A MICHIGAN CORPORATION

whose address is P.O. BOX 329 MT. PLEASANT, MICHIGAN 48804-0329

CONVEYS AND WARRANT(S) to GOLDEN ARCH LIMITED PARTNERSHIP d/b/a DELAWARE GOLDEN ARCH LIMITED PARTNERSHIP, A DELAWARE LIMITED PARTNERSHIP

whose address is ONE MCDONALD'S PLAZA OAK BROOK, ILLINOIS 60521

the following described premises situated in the TOWNSHIP of UNION, County of ISABELLA and State of Michigan, to-wit:

SEE ATTACHED RIDER EXHIBIT A

AFFIDAVIT FILED

for the full consideration of ONE DOLLAR AND OTHER GOOD AND VALUABLE CONSIDERATION

subject to ONLY ITEMS REFERRED TO IN EXHIBIT B

Dated this 27th day of OCTOBER, 1995

WITNESSES  
Virgilene M. Bigard  
Harvey Landam

SIGNED AND SEALED:

HAUCK/ENGLER AND ASSOCIATES, INC.

by Timothy R. Hauck  
Its President

by JAMES W ENGLER  
Its TREASURER

SCANNED  
JUN 02 1997

STATE OF MICHIGAN )  
                          ) SS:

COUNTY OF Isabella  
The foregoing instrument was acknowledged before me this 27 day of OCTOBER, 1995

- (1) by TIMOTHY R. HAUCK & James W. Engler
- (2) PRESIDENT & TREASURER
- (3) of HAUCK/ENGLER AND ASSOCIATES, INC. A Michigan
- (4) Corporation on behalf of the said corporation.

DRAFTED BY:

FRANKLIN REALTY  
4378 SPAIR ROAD  
GAYLORD MI 49735

Virgilene M. Bigard  
Notary Public  
Isabella County, Michigan  
My commission expires 2/17/97

AFTER RECORDING PLEASE  
RETURN THIS DOCUMENT TO:  
CRAIG S. WANDRIE

METROPOLITAN TITLE COMPANY  
125 OTTAWA AVENUE NW, SUITE 440  
GRAND RAPIDS, MICHIGAN 49503

STATE OF MICHIGAN  
COUNTY OF ISABELLA  
I HEREBY CERTIFY that there are no tax liens or  
titles held by the State or individuals on the lands  
described in the written instrument, and that all  
taxes are paid as shown by the records of this  
office for five years.  
James W. Pickens  
Treasurer of Isabella County

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS THAT HARRISON AND ASSOCIATES, INC. HAS

CONVEYED AND WARRANTS TO THE ABOVE NAMED PARTIES THE FOLLOWING DESCRIBED

REAL ESTATE TO HAVE AND TO HOLD TO THE ABOVE NAMED PARTIES AND THEIR HEIRS

AND SUCCESSORS FOREVER TO HAVE AND TO HOLD TO THE ABOVE NAMED PARTIES



MICHIGAN REAL ESTATE TRANSFER TAX  
DEPT of TAXATION \$ 1204.00  
ISABELLA COUNTY, MI  
037058 30 OCT 1995 \$ 154.00 C  
00007844 \$ 1050.00 S

THE FOLLOWING DESCRIBED REAL ESTATE TO HAVE AND TO HOLD TO THE ABOVE NAMED PARTIES

FOR THE FULL CONSIDERATION OF ONE DOLLAR AND OTHER GOOD AND VALUABLE CONSIDERATION

AS SET FORTH IN THE INSTRUMENT REFERENCED ABOVE

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of said County

SIGNED AND SEALED:

WITNESSES:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STATE OF MICHIGAN

COUNTY OF ISABELLA

BEFORE ME, the undersigned authority, on this \_\_\_\_\_ day of \_\_\_\_\_, 1995

(S)

(S)

(A) Notary Public in and for the State of Michigan

WITNESSES:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# EXHIBIT A

## LEGAL DESCRIPTION

LAND IS SITUATED IN THE TOWNSHIP OF UNION, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

PART OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 17, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 17; THENCE SOUTH 89 DEGREES 37'58" WEST, 300.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 17; THENCE NORTH 00 DEGREES 17'42" WEST 400.00 FEET; THENCE NORTH 89 DEGREES 37'58" EAST, 300.00 FEET TO THE EAST LINE OF SAID SECTION 17; THENCE SOUTH 00 DEGREES 17'42" EAST, 400.00 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING.

SCANNED

JUN 02 1997

**PUBLIC WALK NOTES**

**A** THE PROPOSED CONCRETE PUBLIC SIDEWALK ALONG LINCOLN ROAD IS SHOWN FOR DIAGRAMMATIC PURPOSES ONLY - A ZBA VARIANCE REQUEST WILL BE SUBMITTED IN ORDER TO OBTAIN PROVISIONAL RELIEF DUE TO UNIQUE EXISTING SITE CONDITIONS (E.G. RETENTION BASIN, SWALES, ETC...). SEE SHEET C2 FOR REFERENCE ONLY.

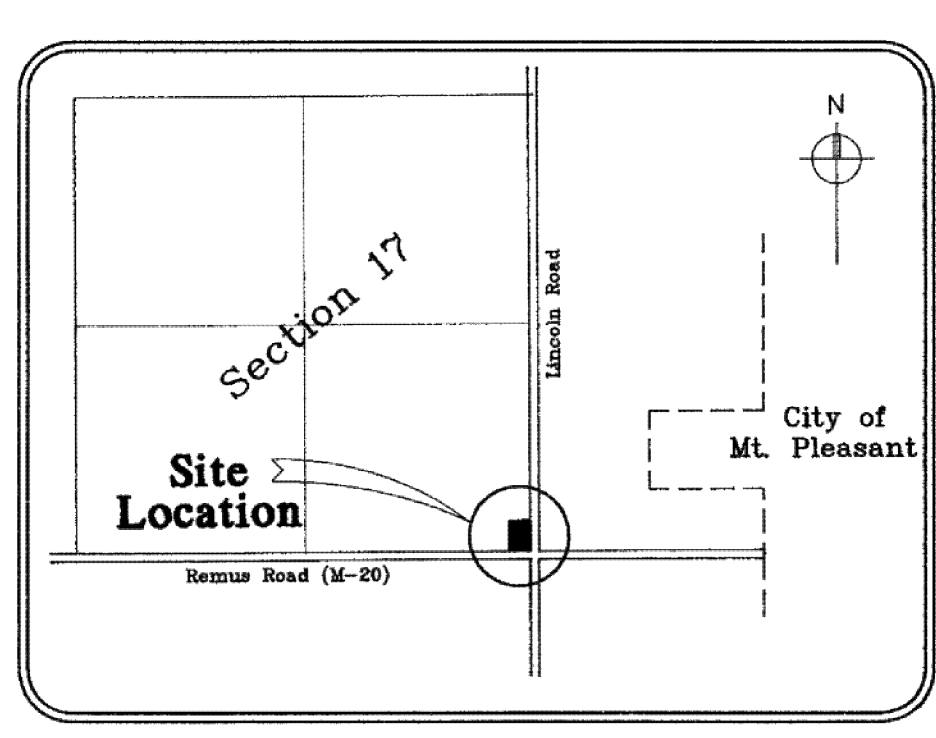
**B** THE PROPOSED CONCRETE PUBLIC SIDEWALK ALONG REMUS ROAD IS SHOWN FOR DIAGRAMMATIC PURPOSES ONLY - PROVISIONAL RELIEF WILL BE REQUESTED OF THE PLANNING COMMISSION DUE TO UNIQUE EXISTING SITE CONDITIONS (E.G. RETENTION BASINS, SWALES, ETC...). SEE SHEET C2 FOR REFERENCE ONLY.

**TAGGED SITE NOTES**

- 1 RE-STRIPE CROSSWALK AS SHOWN.
- 2 REMOVE EX'G ASPHALT PAVING AND REPAVE BARRIER-FREE PARKING AREA W/6" CONCRETE SLAB SO AS NOT TO EXCEED A 2% SLOPE IN ANY DIRECTION. STRIPE AND MARK BARRIER-FREE SPACES & AISLE AND PROVIDE B.F. PARKING SIGNAGE PER ADA REQUIREMENTS. (SEE BARRIER REPORT NOTE #1)
- 3 PROVIDE NEW CONCRETE BARRIER-FREE RAMP AND LANDINGS. (SEE BARRIER REPORT NOTES #2 & 3, ALSO SEE "ADA SITE COMPLIANCE NOTES", THIS SHEET)
- 4 REMOVE AND REPLACE SECTIONS OF CONCRETE WALK SO THAT CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5% (SEE BARRIER REPORT NOTE #4).
- 5 PROVIDE ACCESSIBLE SIGNAGE PER ADA REQUIREMENTS. (SEE BARRIER REPORT NOTE #5 AND FLOOR PLAN FOR SIGNAGE PLACEMENT).
- 6 PROVIDE SPEECH AND HEARING IMPAIRED SIGNAGE PER McDONALD'S STANDARDS / A.D.A. REQUIREMENTS. (SEE BARRIER REPORT NOTE #6 AND FLOOR PLAN FOR SIGNAGE PLACEMENT).
- 7 PROPOSED CONSTRUCTION OF McDONALD'S "BRANDING ELEMENT" - SEE FLOOR PLAN AND ELEVATIONS FOR EXTENT OF PROPOSED EXTERIOR IMPROVEMENTS.
- 8 PROVIDE (2) OOSP PULL-FORWARD AND (2) MOBILE-ORDER PICK-UP SPACES. DESIGNATE WITH SIGNAGE AND DOUBLE-STRIPING PER McDONALD'S STANDARDS.
- 9 RE-PAINT D.T. PAVEMENT MARKINGS AS REQUIRED PER McDONALD'S SITE AND DRIVE-THRU STANDARDS - TYP. THROUGHOUT SITE. SEE GENERAL NOTE #12, THIS SHEET.
- 10 IF EXISTING BUILDING IS TO BE PAINTED, PAINT EXISTING TRASH CORRAL AND NEW RECYCLE BIN TO MATCH BUILDING NEW BASE COLOR (SEE SHEET C1a).
- 11 VERIFY EXISTENCE OF DETECTOR LOOP IN FIELD. SEE GENERAL NOTE #4, THIS SHEET, AND REFER TO McDONALD'S STANDARD DRIVE-THRU DETAIL SHEET DT-1.
- 12 NEW SIDE-BY-SIDE DRIVE-THRU: REMOVE EXISTING DRIVE-THRU EQUIPMENT (FOUNDATIONS CAN REMAIN PROVIDED THEY DO NOT INTERFERE WITH INSTALLATION OF NEW EQUIPMENT). INSTALL NEW SPEAKER/CANOPY, DETECTOR LOOP, COD/MENU-BOARD AND PRE-BROWSE BOARD AS SHOWN PER McDONALD'S SIDE-BY-SIDE DRIVE-THRU STANDARDS (TYP. OF 2 EACH)\* (SEE SHEETS CP2, CP3 & CP4)
- 13 NEW SIDE-BY-SIDE DRIVE-THRU: REMOVE EXISTING GATEWAY. INSTALL NEW DOUBLE-ARM GATEWAY. (SEE SHEET CP4)\*
- 14 REMOVE EXISTING CONC. CURB, LANDSCAPE AND/OR ASPHALT PAVING
- 14a PROVIDE NEW CONC. CURB AND PAVING FOR NEW SIDE-BY-SIDE DRIVE-THRU LAYOUT.
- 15 NEW RECYCLE BIN CONSTRUCTION TO MATCH EXISTING TRASH CORRAL HEIGHT, MATERIAL AND FINISH, WITH CONC. PAD AND APPROACH. PROVIDE (1) SET OF GATES TO FIT OPENING AND MATCH EXISTING.
- 16 EXISTING LOT LIGHT TO BE REMOVED AND RELOCATED.

\* ANCHOR BOLT PATTERN FOR NEW DRIVE-THRU EQUIPMENT FOUNDATIONS TO BE PLACED PARALLEL/SQUARE TO THE FACE OF THE RESPECTIVE EQUIPMENT.

**LOCATION MAP**

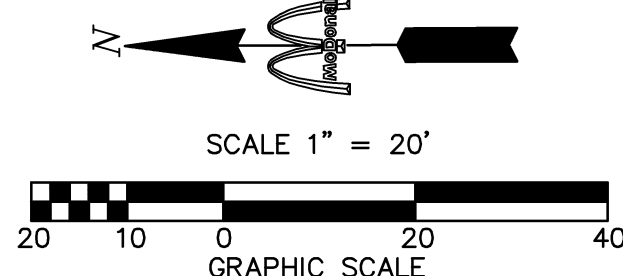


**LEGAL DESCRIPTION**

**Parcel Description**  
Part of the South 1/2 of the Southeast 1/4 of Section 17, Township 14 North, Range 4 West, Union Township, Isabella County, Michigan, more fully described as:  
BEGINNING at the Southeast corner of said Section 17; thence S89°37'58" W 300.00 feet along the South line of said section 17; thence N00°17'42" W 400.00 feet; thence N89°37'58" E 300.00 feet to the East line of said Section 17; thence S00°17'42" E 400.00 feet along said East line to the POINT OF BEGINNING.  
Containing 120,000 Sq. Ft. and/or 2.75 Acres of land, more or less.  
Subject to the right of way of Lincoln Road.  
Subject to right of way of State Highway M-20, also known as Remus Road as recorded in Liber 172, Page 421.  
Subject to rights of way in favor of Consumers Power Co. as recorded in Liber 273, Page 523 and Liber 516, Page 146  
Subject to Water and Sewer Easements in favor of Union Twp. as Recorded in Liber 718, Page 638; Liber 722, Page 696 and Liber 731, Pages 257 & 307.  
TAX I.D.#: 14-017-40-001-01

**SITE COMPLIANCE NOTES PER ADA REQUIREMENTS**

- GENERAL NOTE:**  
1. REFER TO THE SITE SPECIFIC ADA SURVEY FOR A LIST OF BARRIERS TO BE REMEDIED AND ENSURE COMPLIANCE WITH ADA REQUIREMENTS.
- PARKING LOT:**  
1. "VAN ACCESSIBLE" SIGN MUST BE PROVIDED AT INDICATED VAN ACCESSIBLE SPACE.  
2. DRIVE THRU SPEECH/HEARING IMPAIRED SIGN MUST BE PROVIDED AT COD'S CASH AND PRESENT WINDOWS.  
3. PARKING SPACES AND ACCESSIBLE AISLES TO HAVE MAXIMUM 1:48 (2%) RUNNING AND CROSS SLOPE.  
4. CROSSWALK FROM ACCESSIBLE AISLE TO ACCESSIBLE RAMP TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE AND MAXIMUM 1:48 (2%) CROSS SLOPE.  
5. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1/2 MAXIMUM SLOPE (50%)).
- CURB RAMPS:**  
1. TRANSITIONS TO BE FLUSH AND FREE OF ABRUPT CHANGES.  
2. MUST MAINTAIN 36" MINIMUM WIDTH (EXCLUSIVE OF FLARED SIDES).  
3. RUNNING SLOPE: NEW 1:12 (8.33%) MAXIMUM - EXISTING 1:10 UP TO 6" RISE.  
4. RAMP SURFACE TO HAVE MAXIMUM 2% CROSS SLOPE.  
5. TOP LANDING TYPE I, II & IV, TO HAVE MAXIMUM 2% SLOPE IN CHANGE OF DIRECTION.  
6. TOP LANDING TYPE III, TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE.  
7. GUTTER PAN SLOPE MAXIMUM 1:20 (5%).
- SIDEWALKS:**  
1. SIDEWALKS TO HAVE MAXIMUM 1:50 (2%) CROSS SLOPE.  
2. SIDEWALKS TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE.  
3. MINIMUM WIDTH 36".  
4. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1/2 MAXIMUM SLOPE (50%)).
- ENTRY DOOR LANDINGS:**  
1. LANDING SURFACE, INSIDE AND OUTSIDE, TO HAVE MAXIMUM 2% SLOPE IN ANY DIRECTION



**EXISTING SITE NOTE**

EVERYTHING SHOWN ON THIS SITE PLAN IS EXISTING EXCEPT THOSE AREAS "CLOUDED" NOTED FOR DRIVE-THRU ORDERING AND/OR SITE/BUILDING MODIFICATIONS, OR UNLESS OTHERWISE NOTED

**GENERAL NOTES**

- 1. McDONALD'S ROAD SIGN: EXISTING.
- 2. ALL SITE WORK SHALL BE ACCORDING TO McDONALD'S STANDARDS.
- 3. ALL LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING ARE EXISTING. IF OTHERWISE NOTED AS NEW OR RELOCATED, LOT LIGHTING SHALL MATCH EXISTING AND BE INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR.
- 4. EACH DRIVE-THRU WINDOW TO BE PROVIDED A WITH DETECTOR LOOP. VERIFY IN FIELD THE EXISTENCE OF THE DETECTOR LOOPS. SAWCUT EXISTING SLAB AND REPLACE OR PROVIDE NEW WHERE NECESSARY. TIE INTO EXISTING LOOP DETECTOR ELECTRICAL SYSTEM.
- 5. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
- 6. GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
- 7. REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING/DEMOLITION AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS, IF APPLICABLE.
- 8. REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS, IF APPLICABLE.
- 9. EXISTING TRASH CORRAL TO REMAIN AND MATCH BUILDING'S BASE COLOR.
- 10. ALL RADII NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
- 11. BARRIER FREE RAMP TO BE 8'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL.
- 12. PAINTED SITE DIRECTIONAL ARROWS, LINES AND SYMBOLS TO BE WHITE. HANDICAP LINES AND SYMBOLS ARE BLUE #123. DRIVE-THRU DOUBLE-STRIPING & CIRCLE DIRECTIONAL ARROWS TO BE PAINTED YELLOW. LOT PAINTING TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND McDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS. SEE SITE PLANNING GUIDE V3.1, OR LATEST VERSION.
- 13. INSTALLATION OF FLAGPOLE(S) IS OPTIONAL AND PER THE OWNER/OPERATOR'S REQUEST. IF USED, FLAGPOLE(S) MUST BE ILLUMINATED.

**LAND/BUILDING/PARKING DATA AND NOTES**

LAND AREA:	120,000 S.F. OR 2.75 ACRES
GROSS AREA:	87,500 S.F. OR 2.01 ACRES
NET AREA (MINUS RIGHT OF WAY):	87,500 S.F. OR 2.01 ACRES
ZONING CLASSIFICATION:	B5 HIGHWAY BUSINESS
ADJACENT ZONING (ALL DIRECTIONS):	B5 HIGHWAY BUSINESS
GROSS BUILDING AREA:	4,351 S.F.
BUILDING SETBACKS PROVIDED (EXISTING):	
FRONT YARD SETBACK:	75 FEET, 1 INCH
FRONT YARD SETBACK (EAST):	154 FEET, 3 INCHES
SIDE YARD SETBACK (WEST):	59 FEET, 3 INCHES
REAR YARD SETBACK:	149 FEET, 2 INCHES
PARKING REQUIRED:	
1 SPACE / 3 SEATS ALLOWED WITH MAXIMUM OCCUPANCY	
78 SEATS / 3 S.F. = 26 SPACES	
TOTAL PARKING REQUIRED:	26 SPACES
NUMBER OF H.C. SPACES REQUIRED =	2 SPACES
PARKING PROVIDED:	
STANDARD SPACES PROVIDED	45 SPACES
NUMBER OF H.C. SPACES PROVIDED	2 SPACES
TOTAL SPACES PROVIDED	47 SPACES
LOADING / UNLOADING AREA PROVIDED:	
(1) 10' x 50'	
TOTAL LOADING / UNLOADING AREA PROVIDED:	= 500 S.F.
LANDSCAPE PROVIDED (EXISTING):	
LANDSCAPE AREA IS EXISTING AND WILL ONLY BE MODIFIED AT NEW SIDE-BY-SIDE DRIVE-THRU.	
LOT LIGHTING PROVIDED (EXISTING):	
LOT LIGHTING IS EXISTING AND WILL ONLY BE MODIFIED AT NEW RECYCLE BIN CONSTRUCTION (SEE TAG NOTE #16)	
CONSTRUCTION TYPE:	= VB
- NON-SPRINKLERED	
- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS	

**PARKING INFORMATION**

TOTAL SPACES	47	SPACES	X' X' X'-X" @ 60'
		SPACES	X' X' X'-X" @ 60'
		SPACES	X' X' X' @ 90'
		SPACES	X' X' X' @ 0

**ARCHITECT/PLANNER/APPLICANT**

<p>Dorchen/Martin Associates, Inc. Architects/Planners</p>		<p>29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231 e-mail: dmo@dorchenmartin.com www.dorchenmartin.com</p>	
<b>SURVEYOR</b>	VENTURE ENGINEERING, PLLC 8515 RIDGEBLUFF DR. SW BYRON CENTER, MI, 49315 PHONE: 616-490-0329 email: venturecivil.com	<b>CIVIL ENGINEER</b>	VENTURE ENGINEERING, PLLC 8515 RIDGEBLUFF DR. SW BYRON CENTER, MI, 49315 PHONE: 616-490-0329 email: venturecivil.com

**SITE LOCATION**

PROJECT STREET ADDRESS	1963 E. REMUS ROAD
CITY	UNION TWP.
STATE	MICHIGAN
COUNTY	ISABELLA
NATIONAL I.D. NO.	17104
SITE LOCATION CODE NO.	021-1306

**OWNER:** McDonald's®

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

**OWNER:** FRANK Z. MARTIN ARCHITECT No. 1301019881

**ARCHITECT SEAL:** FRANK Z. MARTIN ARCHITECT No. 1301019881

**PLANNING APPROVALS:**

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

**CO-SIGN SIGNATURES:**

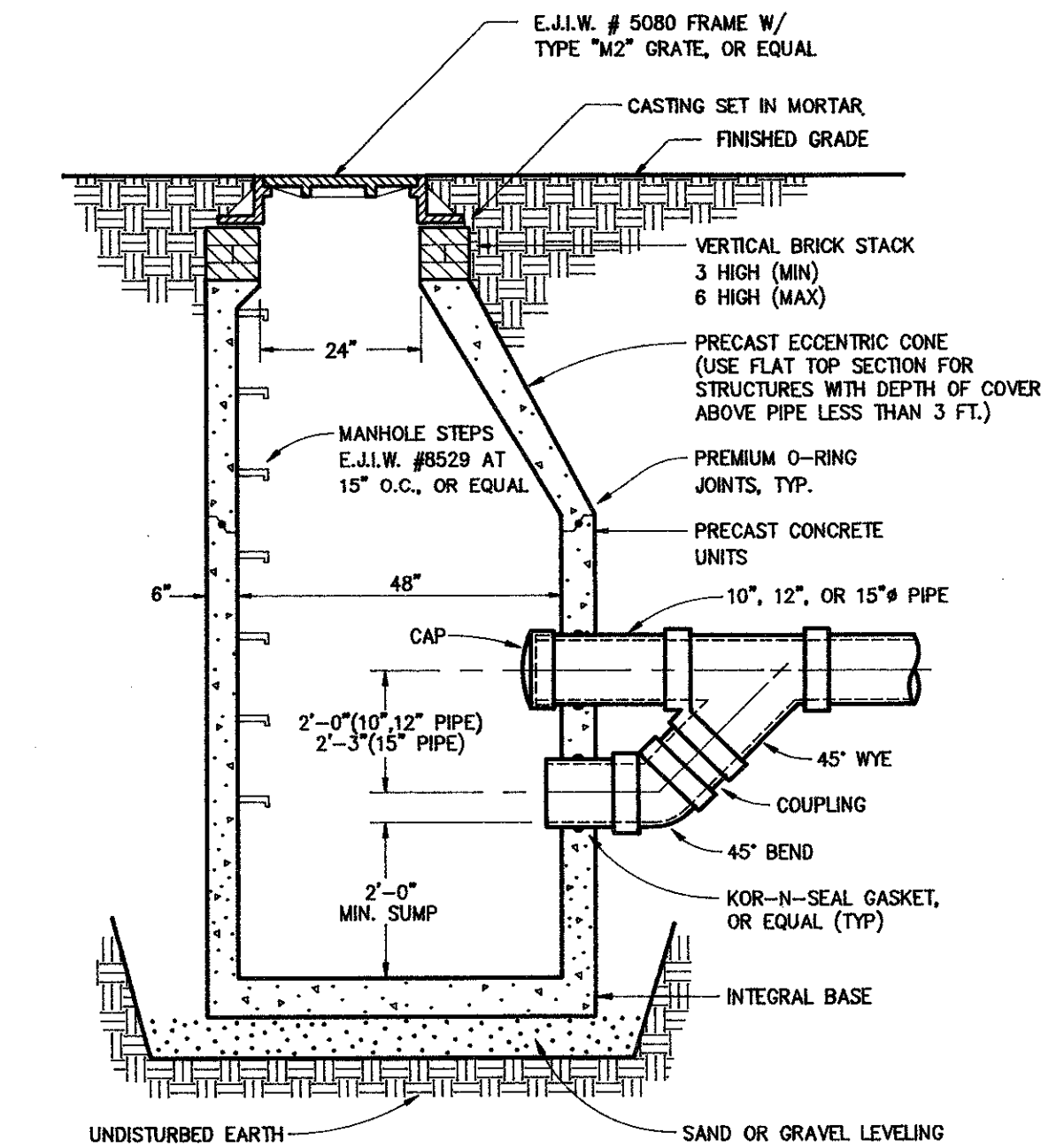
DATE	STATUS	DATE	BY
	PLAN CHECKED	DEC 2018	DMA
	AS-BUILT		

**ISSUE REF:**

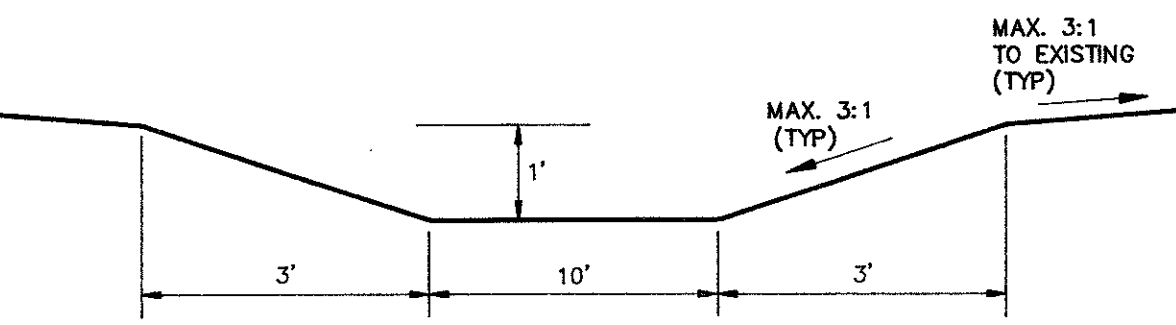
REV	DATE	DESCRIPTION	ISSUE REF
A	12/20/18	SUBMITTAL TO MCDONALD'S FOR SITE PER	
B	2/25/19	SUBMITTAL FOR BIDS/PERMIT	
U	2/25/19	SUBMITTAL TO TWP. FOR SFA	

**CONTRACTOR:** MICHIGAN 1021 KARL GREIMEL DR. BRIGHTON, MI 48116 PH: (734) 335-9000

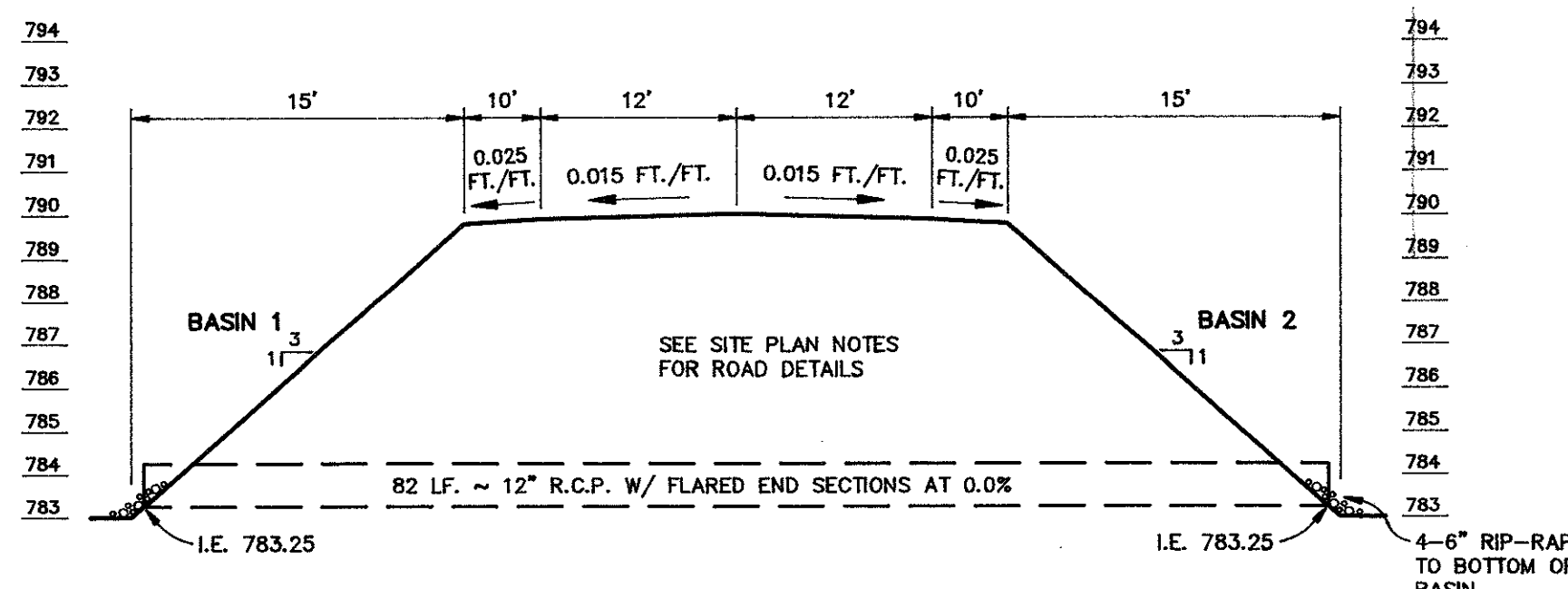
**PROJECT ID:** 18034P



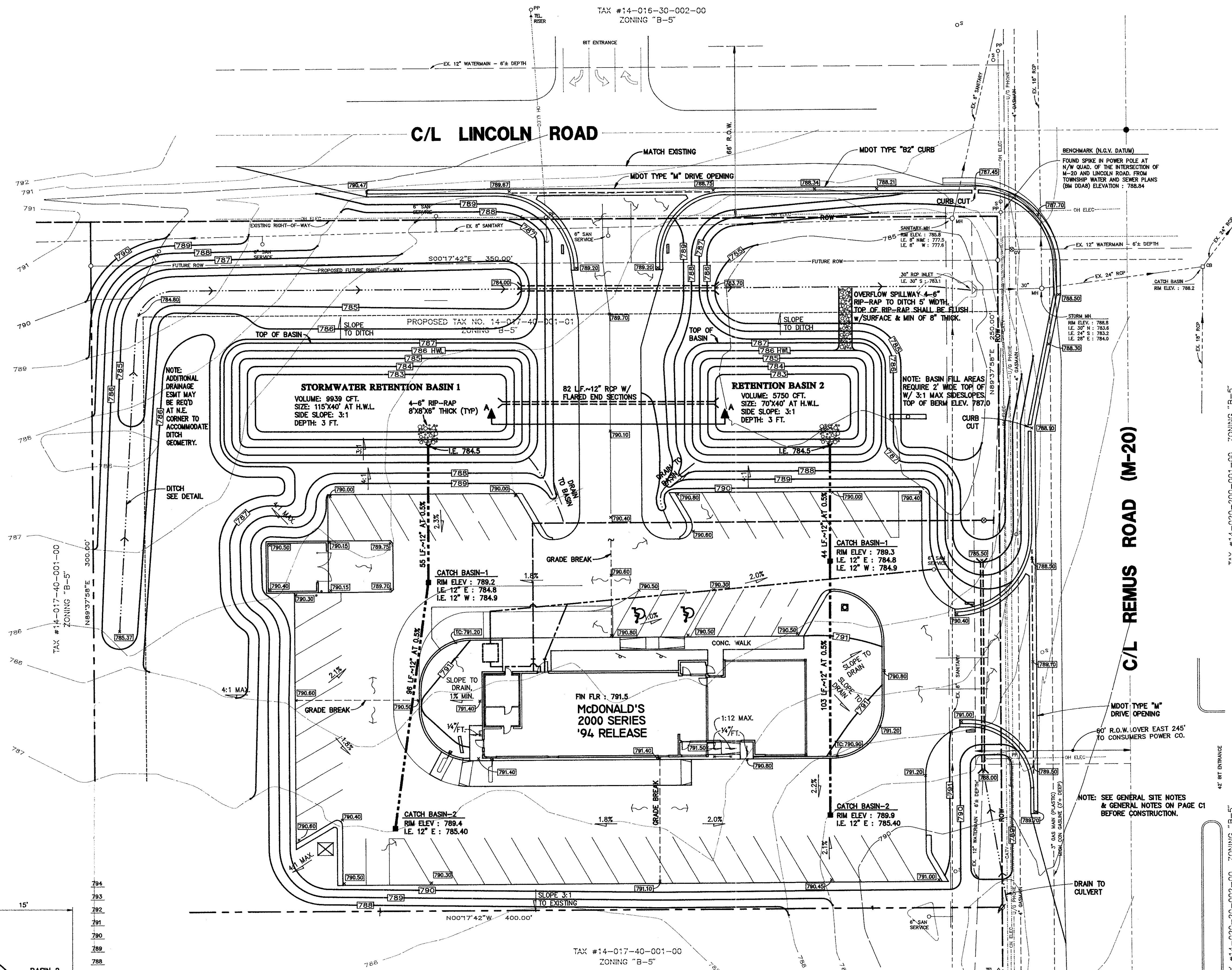
**TYPE I STRUCTURE  
CATCH BASIN DETAIL**  
NO SCALE



**TYPICAL DITCH CROSS SECTION**  
NO SCALE



**TYPICAL ROAD CROSS SECTION 'A-A'**  
NOT TO SCALE



- Legend**
- PROPOSED GROUND CONTOUR
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - PROPOSED TOP OF CURB ELEVATION
  - PROPOSED STORM SEWER
  - DRAINAGE DIRECTION ARROW

**FOR REFERENCE ONLY  
SITE PLAN**  
SCALE 1" = 20'

NOTE: SEE SHEET C3 FOR CROSS SECTIONS B-B AND C-C.

**Gosling Czubak Associates**  
Engineers - Surveyors  
Environmental Services  
525 West Fourteenth  
Traverse City, MI 49684  
616 844-9191  
Fax 616 941-4603

**GRADING LAYOUT**

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	7-25-95	MOVE BUILDING 3'	CLJ	
2	7-25-95	ADD CURB REVISIONS	CLJ	
3	7-28-95	ADDED PLAYLAND	CLJ	
4	8-25-95	CURB & ROAD REVISIONS AS REQUESTED BY MDOT	CLJ	
5	9-19-95	MDOT CURB AND ROAD REVISIONS AND GRADING CHANGES	CLJ	
6	9-26-95	ADD CULVERT AND GRADING AS REQUIRED BY MDOT	CLJ	

PLAN APPROVALS	DATE
SIGNATURE (2 REQUIRED)	

**McDonald's**

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OFFICE: GRAND RAPIDS REGION  
ADDRESS: 5928 TAHOE, S.E., GRAND RAPIDS, MICHIGAN 49546 PH: (616)842-7448

STATUS	DATE	BY
DATE DRAWN	5-9-95	TcR
PLAN CHECKED		
AS-BUILT		

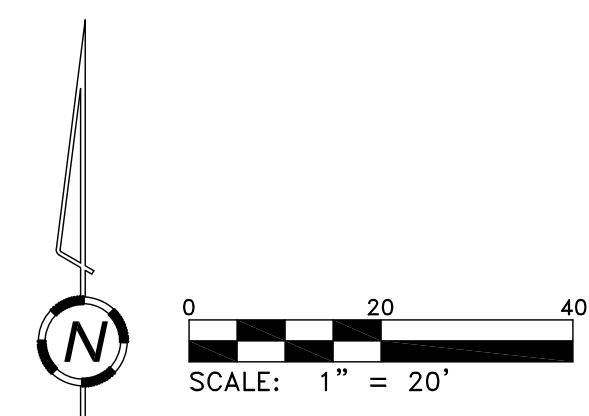
CO-SIGN SIGNATURES	CONTRACTOR	OWNER

**C 2**

N89°37'58"E 300.00'

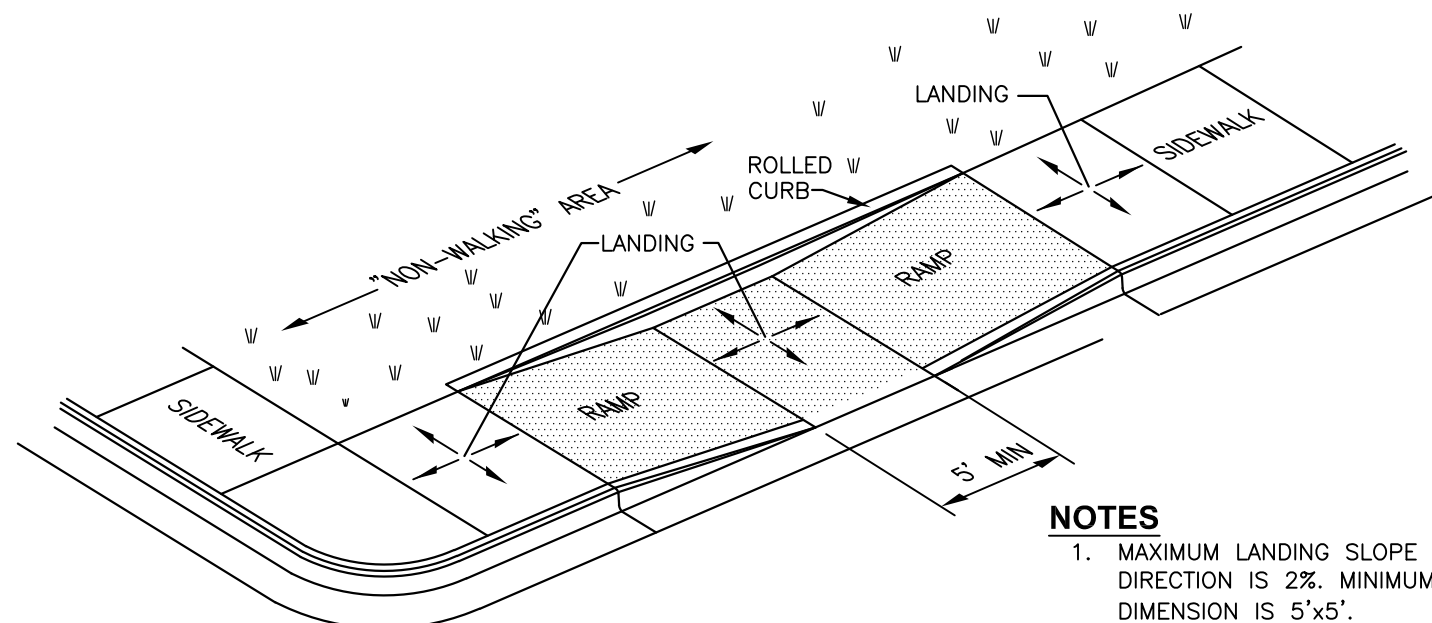
**LEGEND**

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DRAINAGE STRUCTURES
- PROPOSED STORM SEWER
- SILT FENCE
- +123.45 PROPOSED SPOT/GUTTER ELEVATION
- DIRECTION OF DRAINAGE FLOW
- SWALES
- DRAINAGE HIGH POINTS



**SESC NOTES**

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY & LOCAL PERMIT AGENCY STANDARDS.
- GRADING WILL BE LIMITED TO REMOVAL LIMITS AS SHOWN.
- NO SOIL WILL BE ALLOWED TO ACCUMULATE OFF SITE. ANY SOIL TRACKED OFF SITE IS TO BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
- WHERE POSSIBLE SILT FENCE IS TO BE PLACED 10' FROM TOE OF SLOPE TO ALLOW FOR MAINTENANCE.
- ALL DISTURBED AREAS TO BE SEEDDED WITHIN 5 CALENDAR DAYS OF ACHIEVING FINAL GRADE WITH PERMANENT SEED MIXTURE.
- ALL SLOPES GREATER THAN 1:4 AND DRAINAGE SWALES SHALL BE STABILIZED WITH NORTH AMERICAN GREEN DS-150 EROSION CONTROL BLANKET OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. BLANKETS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO BE CHECKED DAILY AND ANY PROBLEMS REMEDIED IMMEDIATELY.
- PERMANENT EROSION CONTROL MEASURES TO BE MAINTAINED BY PROPERTY OWNER. MAINTENANCE INCLUDES REGULAR INSPECTION AND CLEAN OUT OF CATCH BASINS, ENSURING VEGETATION IS ADEQUATE ON ALL SLOPES.
- INSTALL SILT FENCE & INLET PROTECTION AS SHOWN. MAINTAIN SILT FENCE BY REMOVING SEDIMENT WHEN IT HAS REACHED 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE.
- PLACE INLET PROTECTION IN ALL PROPOSED CATCH BASINS IMMEDIATELY FOLLOWING INSTALLATION. INLET PROTECTION TO BE "SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL.
- PERMANENT CONTROL MEASURES MUST BE COMPLETED 5 CALENDAR DAYS AFTER THE FINAL EARTH CHANGE IS COMPLETED FOR EACH AREA DISTURBED. THIS INCLUDES BLANKETS, SEEDING, MULCHING & HYDROMULCHING, AS INDICATED IN THESE PLANS.
- FOR ALL AREAS TO BE SEEDDED, THE MULCH MUST BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.
- CLEAN STORM SEWER, INLETS AND PIPES OF ALL CONSTRUCTION SEDIMENT IMMEDIATELY FOLLOWING PROJECT COMPLETION.
- REMOVE TEMPORARY CONTROLS SUCH AS SILT FENCE, INLET PROTECTION AND NETTING ONCE VEGETATION IS ESTABLISHED AND THE SITE HAS BEEN STABILIZED.



**SIDEWALK RAMP TYPE P**  
(PARALLEL RAMP)  
NO SCALE

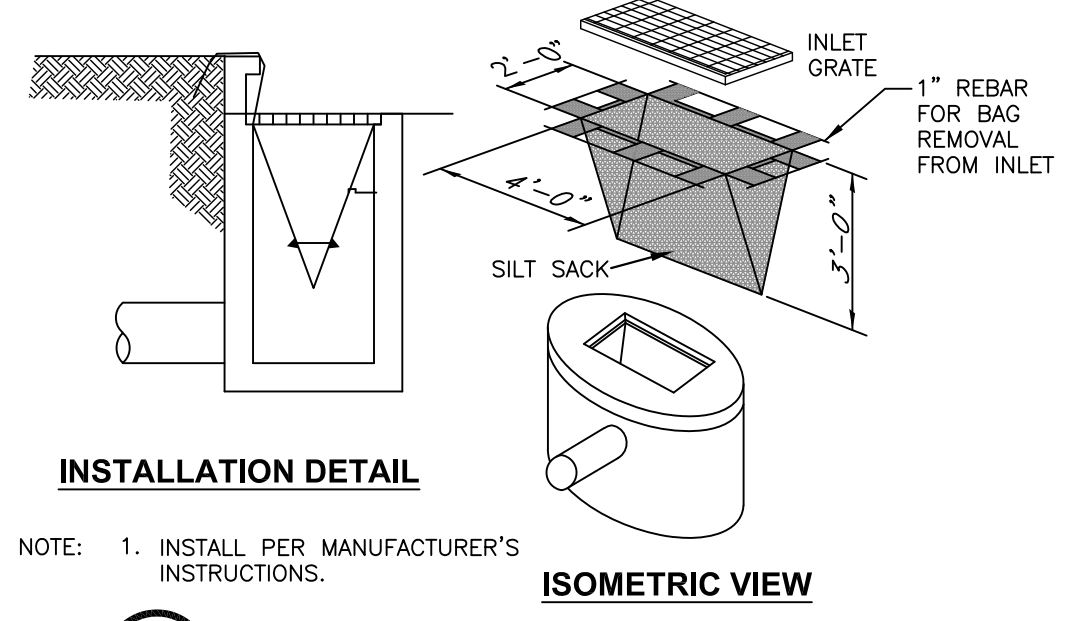
- NOTES**
- MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2%. MINIMUM LANDING DIMENSION IS 5'x5'.
  - MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2%).
  - REFER TO MDT STANDARD DETAIL R-28 SERIES FOR MORE INFORMATION.

**PERMANENT SEEDING NOTE**

**E8** ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND LAWN SEED MIX AS INDICATED ON PLANS AND AS FOLLOWS:

PROPORTION	CLASS "A" SEED TYPE
10%	CANNON KENTUCKY BLUEGRASS
10%	GOLDRUSH KENTUCKY BLUEGRASS
20%	RONDE KENTUCKY BLUEGRASS
20%	SR1100 CHEWINGS FESCUE
20%	SR5200 CREEPING RED FESCUE
10%	SR4400 PERENNIAL RYEGRASS
10%	SR4500 PERENNIAL RYEGRASS

SEEDING RATE SHALL BE 4 TO 6 lbs. PER 1000 SQ. FEET.  
ALL AREAS DESIGNATED FOR PERMANENT SEEDING SHALL BE HYDRO-SPRAYED.



**INSTALLATION DETAIL**  
**S58 INLET PROTECTION - FABRIC DROP**

NOTE: 1. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
<b>EROSION / SEDIMENT CONTROLS</b>			
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

**NOTES:**

- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES IN PLACE UNLESS NOTED FOR REMOVAL.
- ALL CONCRETE SIDEWALK & CURB REMOVALS SHALL BE TO THE NEAREST JOINT.
- BITUMINOUS PAVEMENT REMOVAL LIMITS SHALL BE BY SAW CUT.
- EXISTING UTILITIES SHOWN ARE FROM RECORD PLANS AND EVIDENCE IN THE FIELD. NO GUARANTEE IS MADE FOR ACCURACY OR THAT THE UTILITIES SHOWN ARE THE ONLY IN THE AREA.
- CONTRACTOR SHALL CLEAN & REMOVE SEDIMENT FROM ALL SITE DRAINAGE STRUCTURES FOLLOWING CONSTRUCTION.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET UNION TOWNSHIP REQUIREMENTS.
- PROPOSED SITE WORK CONSISTS OF NEW CURB, RE-PAVING AND RE-GRADING ONLY. NO OTHER WORK INVOLVING ANY EXISTING SITE UTILITIES IS PROPOSED. TOTAL DISTURBED AREA = 0.17 ACRES±
- REFER TO SITE PLAN FOR PARKING SPACE AND LOT STRIPING.

**ELEVATION DATUM**

All Elevations are based on NAVD 88 Datum.  
Contours are illustrated at 1.0' intervals

BM#1 Elevation: 791.60  
Box cut in North Northeast side of concrete light pole base 55'± east of the east side of McDonalds building.

NOTE: ADD 700 TO ALL PROPOSED SPOT ELEVATIONS TO MATCH SURVEY DATUM.

**EXIST. STRUCTURE INVERTS**

- ROUND CB#1  
RIM: 788.26  
12" E 783.94  
12" W 783.97  
NO OTHER PIPES VISIBLE
- ROUND CB#2  
RIM: 788.20  
12" E 783.89  
6" SW 784.30  
12" W 783.90  
NO OTHER PIPES VISIBLE
- ROUND CB#3  
RIM: 788.41  
12" E 784.41  
NO PIPES VISIBLE  
TOP OF WATER 784.61
- ROUND CB#4  
RIM: 788.98  
12" E 784.50  
NO OTHER PIPES VISIBLE

**NOT FOR CONSTRUCTION**

**PAVING SPECIFICATION**  
(MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

**AUTO PARKING:**  
SUBBASE: 12" CLI SAND  
BASE: 8" MIN. STONE, 21A, 21AA OR EQUIV.  
ASPHALT: 1.5" MIN. LEVELING COURSE MDOT HMA 3C  
1.5" MIN. WEARING COURSE MDOT HMA 4C OR EQUIV.

**CONCRETE PADS & PAVING:**  
SUBBASE: 12" CLI SAND  
BASE: 8" MIN. STONE, 21A, 21AA OR EQUIV.  
CONCRETE: 4000 PSI-35S W/ 6AA LIMESTONE, 6" MIN. DEPTH W/ 6"x6" #10 W.W.F. AND "FIBERMESH" CRACK CNTRL FIBERS

**PARKING INFORMATION**

TOTAL SPACES	SPACES	X	.	.	.

**ENGINEERING**

**VENTURE ENGINEERING, PLLC**  
8515 Ridgebluff Dr, SW  
Byron Center, MI 49315  
616-490-0329  
venturecivil.com

**SURVEYOR**

**SITE GRADING & EROSION CONTROL PLAN**

PROJECT STREET ADDRESS	STATUS	DATE	BY
1963 E. REMUS ROAD		2/6/19	JAC
TOWNSHIP	STATE	COUNTY	PLAN CHECKED
UNION	MICHIGAN	ISABELLA	2/6/19
NATIONAL STORE NO.	SITE LOCATION CODE NO.	AS-BUILT	
17106	021-1306	C2	

**McDonald's**

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STATE OF MICHIGAN  
JEFFREY MARK BRINKS  
Professional Engineer  
No. 37262

OFFICE ADDRESS: 1027 KARL GRENEL DR., STE. 200 BRIGHTON, MI 48116 PH: (734) 335-9000 FX: (734) 335-9001

DATE	REVISION	DESCRIPTION	BY	ISSUE REF

**PLAN APPROVALS**

SIGNATURE (2 REQUIRED)	DATE

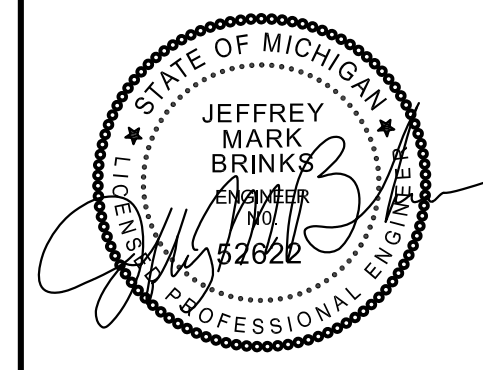
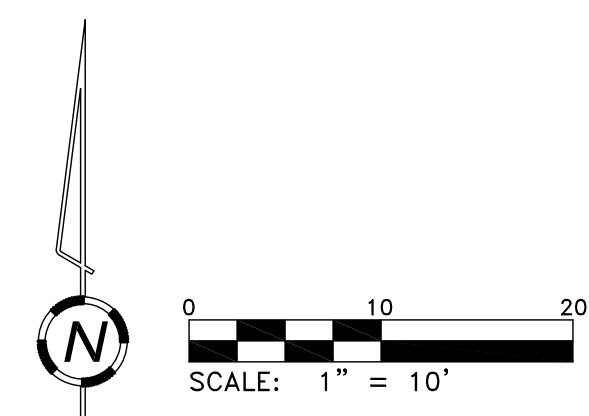
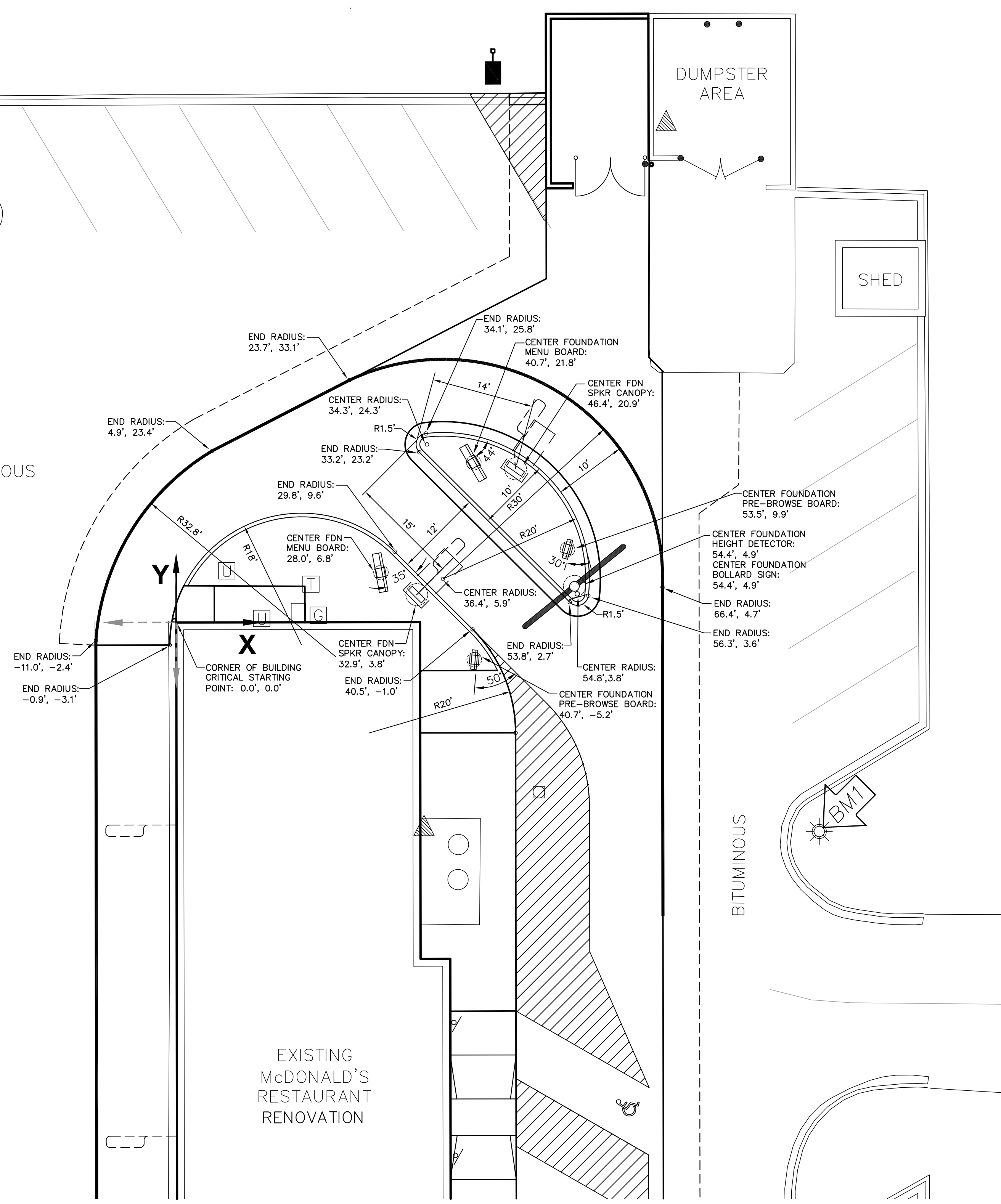
**CO-SIGN SIGNATURES**

REGIONAL MGR.	CONTRACTOR
CONSTR. MGR.	OWNER
OPERATIONS DEPT.	
REAL ESTATE DEPT.	



ETB ☒

BITUMINOUS



**McDonald's**

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OFFICE: MICHIGAN REGION  
 ADDRESS: 1027 KARL GRENDEL DR., STE. 200 BRISTOL, MI 48116 PH:(734) 335-9000 FX:(734) 335-9001

PAVING SPECIFICATION  
(MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

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 CONCRETE: 4000 PSI-35S W/ 6AA LIMESTONE, 6" MIN. DEPTH W/ 6"X6" #10 W.W.F. AND "FIBERMESH" CRACK CNTRL FIBERS

PARKING INFORMATION

TOTAL SPACES	SPACES	X	⊙	•

ENGINEERING

**VENTURE ENGINEERING, PLLC**

8515 Ridgebluff Dr, SW  
 Byron Center, MI 49315  
 616-490-0329  
 venturecivil.com

SURVEYOR

**SBS COORDINATE PLAN**

PROJECT STREET ADDRESS	STATUS	DATE	BY
1963 E. REMUS ROAD		2/6/19	JAC
TOWNSHIP	STATE	COUNTY	PLAN CHECKED
UNION	MICHIGAN	ISABELLA	2/6/19
NATIONAL STORE NO.	SITE LOCATION CODE NO.	AS-BUILT	
17106	021-1306		

REV	DATE	DESCRIPTION	BY	ISSUE REF

DATE	DATE	DATE	DATE

C2a

**GENERAL FINISH NOTES**

- ALL FINISH SURFACES OF WALL AND CEILING MATERIALS SHALL BE CLASS II AND SHALL HAVE A FLAME SPREAD RATING OF 26 TO 75 AND A SMOKE DENSITY OF 450 MAX. (PER IBC TABLE BA).
- DRAPES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT AND MEET THE CRITERIA OF NFPA 70.
- DECORATIVE MATERIAL SHALL NOT CONCEAL EXITS, EXIT LIGHTS, FIRE ALARM STATIONS, HOSE CABINETS, & EXTINGUISHER LOCATIONS.
- QUARRY TILE:**  
DAL-TILE DIABLO RED 6x6 ABRASIVE TILE W/ BLACK GROUT  
**FLOOR TILE:**  
DAL-TILE ROCKY MOUNTAIN SERIES OR OTHER TILE MEETING THE FOLLOWING:  
A. MUST BE APPROVED BY McDONALD'S U.S. RESTAURANT DESIGN & CONSTRUCTION DEPARTMENT  
B. MUST MEET THE FOLLOWING STATIC COEFFICIENT OF FRICTION PER ASTM F1677-05: LEVEL SURFACES: MIN. 0.50 DRY & WET  
5. A. FRP OVER CEMENT BD. BEHIND 3-COMP SINK TO HEIGHT OF BACK SPLASH  
B. FRP OVER CEMENT BD. OVER EXTERIOR GRADE PLYWD. AT MOP SINK OPTIONAL: ADD STAINLESS STEEL SHEET  
6. PROVIDE CEMENT BRD BACKER OR EQUIVALENT AT ALL CERAMIC TILE LOCATIONS.

**GENERAL NOTES**

- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
- SEE STRUCTURAL PLAN FOR NEW ROOFING
- SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. G.C. TO REFER TO PRE-A.D.A. SURVEY FOR INFORMATION. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN  
1-800-214-8765  
9292 1ST ST., BOX 588  
www.forrestpermasigns.com  
NEW ROCHELLE, NY 10802
- SEE KITCHEN EQUIPMENT DRAWINGS FOR NEW ITEMS. LOCATIONS, AND INSTALLATION

**SYMBOL LEGEND**

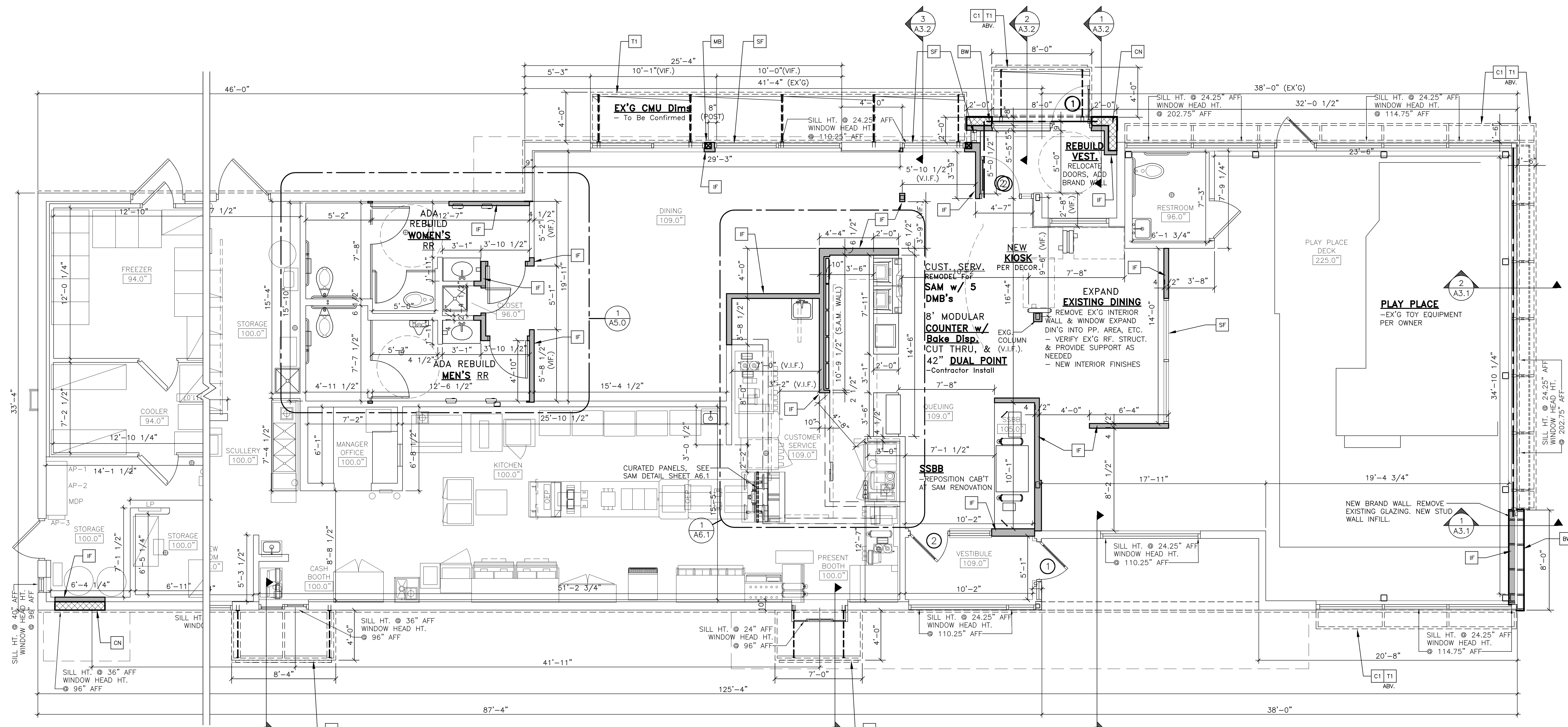
- 7 DOOR TAG - REFER TO DOOR SCHEDULE
- X KEY NOTE

**FLOOR PLAN LEGEND**

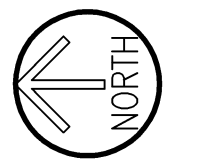
- EXISTING WALL AND FINISHES TO REMAIN
- NEW WALL CONSTRUCTION & FINISHES
- PROPOSED NEW TRELLIS ABOVE

**PLAN KEY NOTES**

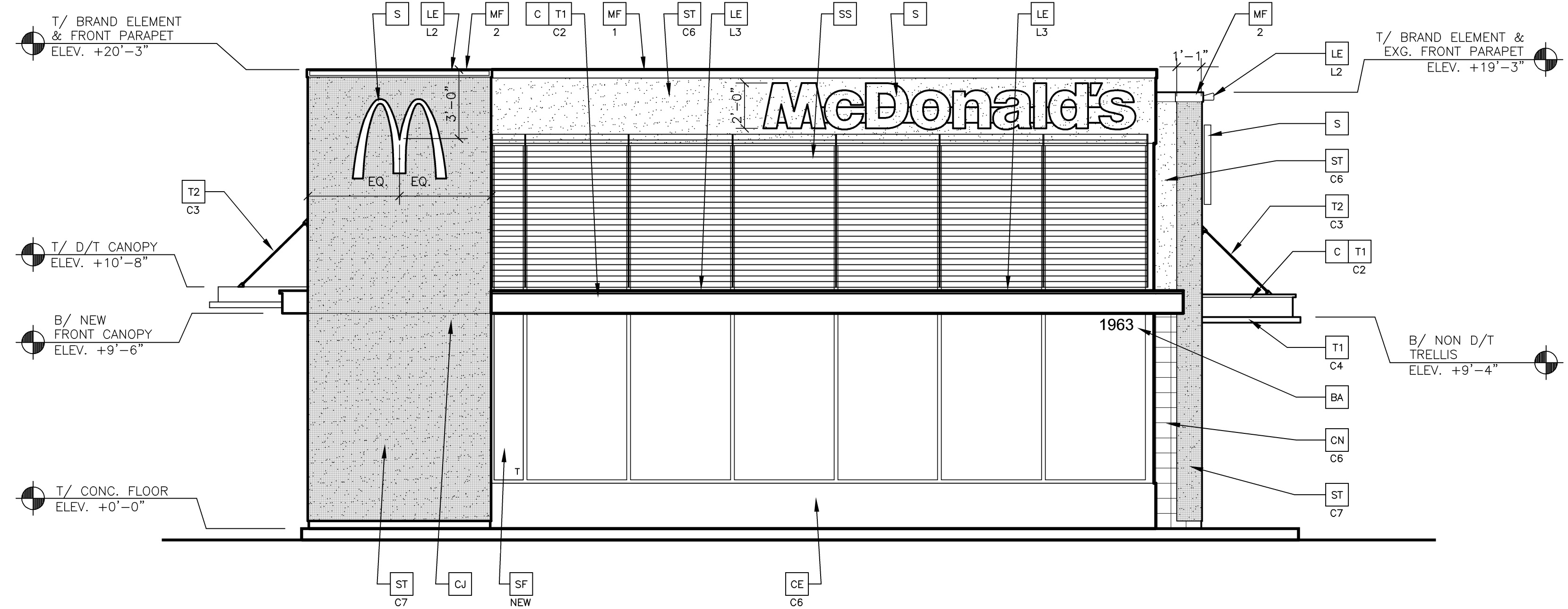
- BM BUILDING MATERIAL - SEE ELEVATIONS FOR ADDITIONAL INFORMATION
- BN NEW BRICK MASONRY UNIT - MATCH EXISTING. SEE ELEVATIONS
- BW NEW BRAND WALL: EXTERIOR STUCCO FINISHING SYSTEM
- C NEW ALUM CANOPY BY OTHERS - SEE ELEVATIONS
- CN NEW CEMENT MASONRY UNIT - SEE ELEVATIONS
- GP GUARD POST - SEE SITE PLAN FOR LOCATION(S)
- GR NEW GUARDRAIL - SEE SITE PLAN FOR ADDED INFO LOCATION(S) & LENGTH(S)
- IF PROVIDE INTERIOR FINISH PER DECOR DRAWINGS
- MB NEW BRAKE METAL FASCIA - COLOR PER ELEVATIONS
- SF STOREFRONT SYSTEM - SEE 1/A3.0 FOR NOTES - SEE ELEVATIONS
- T1 ALUMINUM TRELLIS - 18" OR 4" EXTENSION



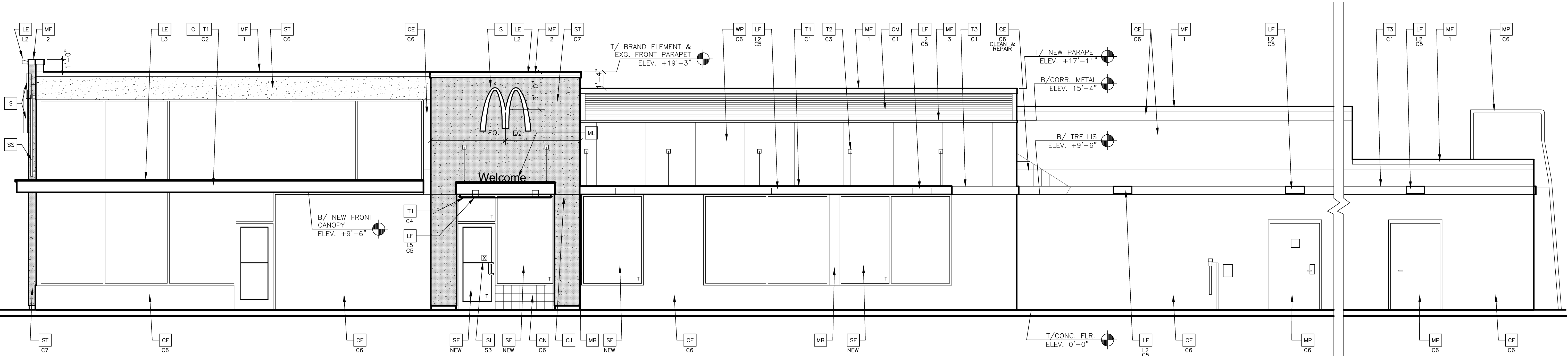
1 FLOOR PLAN  
A1.0 1/4" = 1'-0"



STATE OF MICHIGAN FRANK Z. MARTIN ARCHITECT No. 1301019881 LICENSED ARCHITECT
Dorchen/Martin Associates, Inc. Architects/Engineers 2995 Greenfield Rd., Suite 107 Farmington Hills, Michigan 48334 (248) 557-1000 Fax: (248) 557-1231 e-mail: amartin@dmarchitect.com www.dorchenmartin.com
McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site or a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. One of the contract documents for these drawings is not authorized.
PREPARED FOR: McDonald's USA, LLC
DRAWN BY: DMA-MI Team
DATE ISSUED: WINTER 2019
REVIEWED BY: MT PLEASANT, MI
TITLE: McDONALD'S BUILDING MODIFICATIONS
DESCRIPTION: MAJOR REMODEL - INTERIOR / EXTERIOR
SITE ADDRESS: 1963 E. REMUS ROAD, MT PLEASANT, MI
SHEET NO: #021-1306
<b>A1.0</b>
FLOOR PLAN
REV DATE DESCRIPTION
B 2-28-2019 BIDS / BUILDING PERMIT REVIEW
A 1-16-2019 FINAL BRAND REVIEW
BY



2 FRONT ELEVATION - SOUTH  
A2.0 1/4" = 1'-0"



1 NDF ELEVATION - EAST  
A2.0 1/4" = 1'-0"

ELEVATION KEY NOTES: MRP 12-2018

**COLOR SCHEME:** (CRAFTSMAN SCHEME)  
 C6 = BENJAMIN MOORE PAINT, FAIRVIEW TAUPE B.M. HC-85  
 C7 = BENJAMIN MOORE PAINT, IRON MOUNTAIN B.M. 2134-30

CE CONC. BLOCK - EXG REMAIN & PAINT:  
 C- COLOR  
 C6 = PAINT PER EXTERIOR COLOR SCHEME

CN CONC BLOCK - NEW TO MATCH EXG TEXTURE, COURSING & PAINT COLOR C6  
 C- CANOPY -12" ALUMINUM FASCIA SYSTEM  
 C- COLOR = WHITE

CJ CONTROL JOINT SPACING: PER MANUFACTURER RECOMMENDATION & INSTALLATION STANDARD

DS PROVIDE NEW DOWNSPOUT & GUTTER AS REQUIRED (OR PAINT EXG GUTTER & DOWNSPOUT TO MATCH ADJACENT)

EF EXISTING FINISH - WHEN PAINTED:  
 C6 = PAINT PER EXTERIOR COLOR SCHEME  
 C- SEE NOTE ABOVE

GR GUARD RAIL - NEW, EXISTING GALVANIZED, OR REPAINT TO MATCH BASE BUILDING

LE LIGHT FIXTURE (ACCENT, LED)  
 L- SEE ELECTRICAL ON ROOF PLAN  
 L- TYPE  
 L2 = DOWN ONLY FIXTURE  
 L3 = INTEGRAL CANOPY FIXTURE  
 L4 = FLOOD LIGHT UP FIXTURE  
 C- COLOR  
 C2 = WHITE  
 C5 = SILVER

LF LIGHT FIXTURE (SCONCE, ETC. LED)  
 L- SEE ELECTRICAL ON ROOF PLAN  
 L- TYPE  
 L2 = DOWN ONLY FIXTURE  
 L5 = RECESSED DOWN FIXTURE  
 C- COLOR  
 C2 = WHITE  
 C5 = SILVER

MB NEW BREAK METAL - MATCH EXISTING WINDOW MULLIONS

MF METAL FASCIA: ERA METAL  
 COLOR = CITYSCAPE  
 1 = PRE-FAB ANCHOR-TITE FASCIA  
 2 = PRE-FAB CUSTOM BRAND WALL FC  
 3 = PRE-FAB LEDGE CAP FASCIA

ML METAL LETTERING - BY OTHERS  
 COLOR = SILVER

MP METAL - PAINT DOOR OR EQUIPMENT TO MATCH COLOR SCHEME  
 MR STANDING SEAM METAL ROOF & TRIM w/ SNOW GUARD CLEATS @ WALKS & D.T.  
 COLOR: ENGLERT PRR-WEATHERED GALVALOME

PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)  
 PB PIPE BOLLARD - PROVIDE YELLOW PVC COVER PER McDONALD'S STANDARDS

RS ROOF SCREEN WALL: TREX BOARDS ON METAL FRAME. PAINT TO MATCH BASE BUILDING.  
 S McDONALD'S SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT.

SF NEW STORE FRONT & GLAZING.  
 (T = TEMPERED),  
 C- COLOR TO MATCH EXISTING

SI APPLIED A.D.A. SIGNAGE BY FORREST PERMA-SIGN.  
 SEE GENERAL NOTE #4 ON A1.0  
 XX - TYPE  
 S1 = SIGN #778  
 S2 = SIGN #352 OR #353  
 S3 = SIGN #93A

ST STUCCO CEMENT BRD w/ SANDPEBBLE FIN.  
 SEE WALL SECTIONS, DETAILS & NOTES ON A3  
 XX - COLOR: STATOTONE HIGH PERFORMANCE, MATCH BENJAMIN MOORE Or EQ.  
 -PAINT PER EXTERIOR COLOR SCHEME

T1 ALUMINUM TRELLIS - SEE PLAN FOR DEPTH  
 C- COLOR  
 C1 = CITYSCAPE  
 C2 = WHITE  
 C3 = CHARCOAL  
 C4 = GOLD

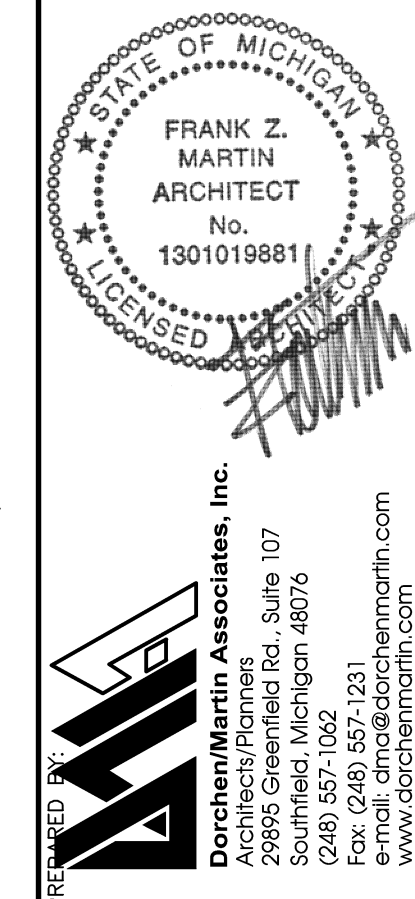
T2 ALUMINUM TRELLIS TIE BACK  
 C- COLOR  
 C3 = CHARCOAL

T3 ALUMINUM TRELLIS 2x8 WALL FASCIA  
 COLOR C1 = CITYSCAPE

TL TILE - SEE EUROWEST TILE PACKAGE NOTE THIS SHEET

TR TRIM - CEMENT BOARD 1x...  
 - PAINT PER EXTERIOR COLOR SCHEME  
 WP FULLERTON PRE-FINISHED WALL PANELS:  
 - TEXTURE PATTERN, HAND-FLOAT FINISH & PER A3.0  
 - PAINT PER EXTERIOR COLOR SCHEME  
 - SEE NOTE "ST"  
 - BLOCK CAST FINISH  
 - BRICK CAST FINISH

BA BUILDING ADDRESS - 6" MINIMUM HEIGHT IN CONTRASTING COLOR TO MOUNTING SURFACE

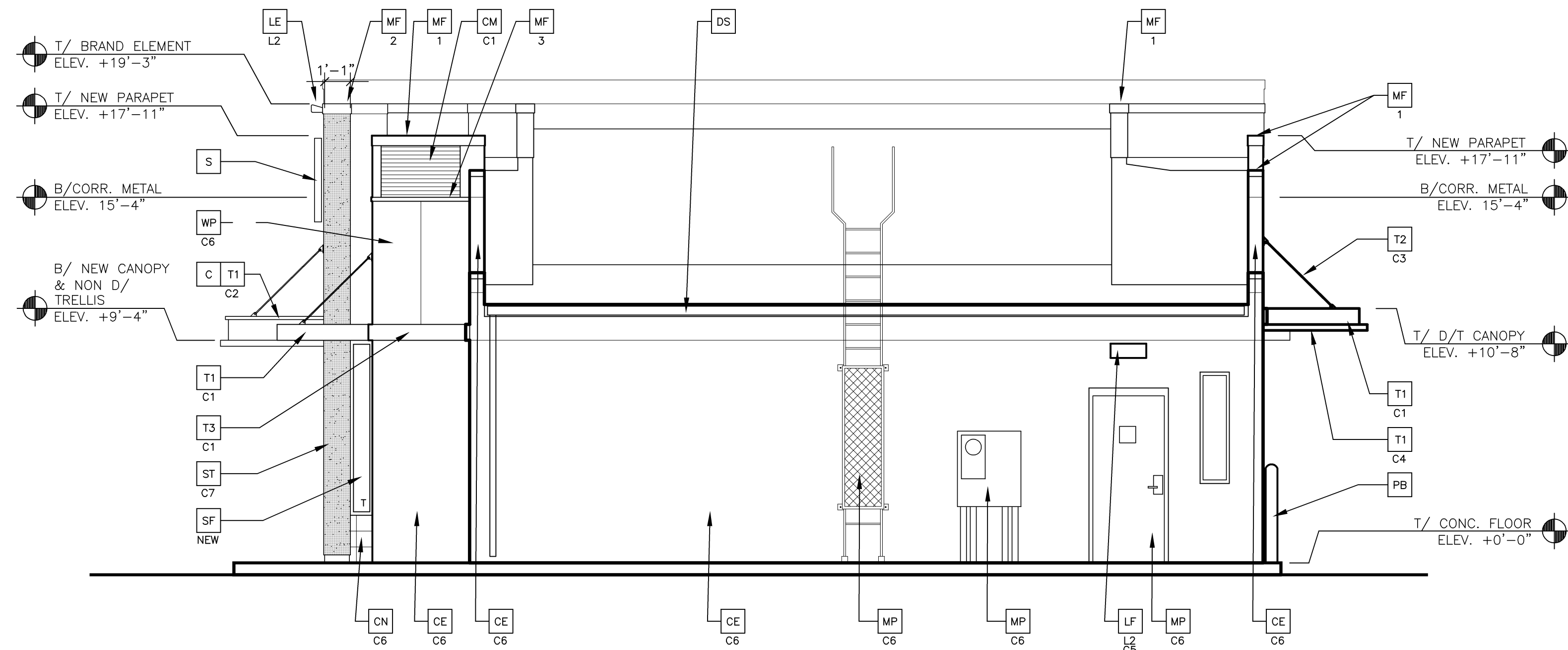


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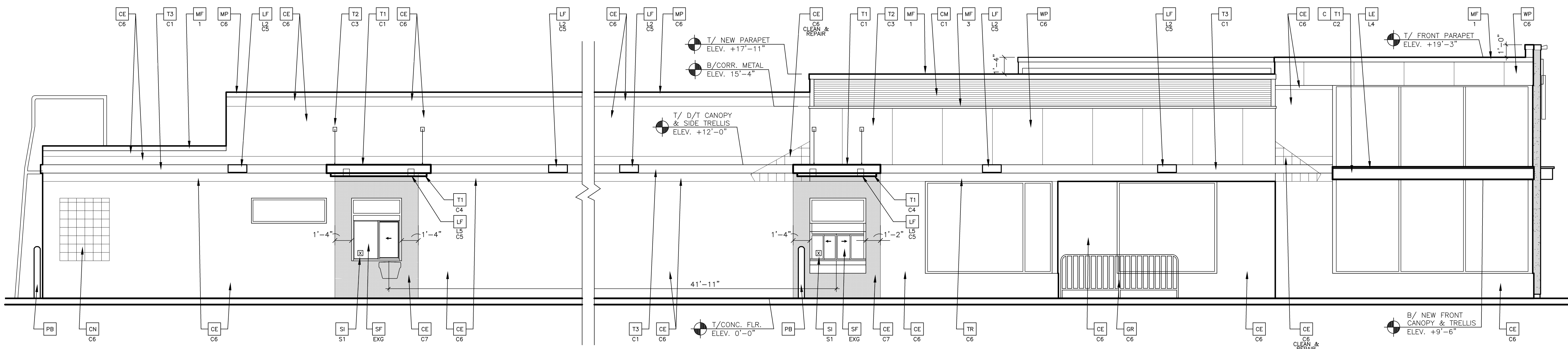
PREPARED FOR:  
**McDonald's USA, LLC**  
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TITLE	McDonald's BUILDING MODIFICATIONS	DATE ISSUED	WINTER 2019
DESCRIPTION	2000 SERIES BUILD'G w/ PP MAJOR REMODEL - INTERIOR / EXTERIOR Customer & Service Renovations	DATE ISSUED	WINTER 2019
SHEET NO.	A2.0	DATE	1-16-2019
PROJECT NO.	#021-1306	REV	A
SITE ADDRESS	021-1306 1963 E. REMUS ROAD, MT PLEASANT, MI	DATE	1-16-2019
DATE	1-16-2019	DATE	1-16-2019
BY	DMA	DATE	1-16-2019
BY	BY	DATE	1-16-2019

D/MA #18034P



2 REAR ELEVATION - NORTH  
 1/4" = 1'-0"



1 DRIVE-THRU ELEVATION - WEST  
 1/4" = 1'-0"

**ELEVATION KEY NOTES:** MRP 12-2018

- COLOR SCHEME:** (CRAFTSMAN SCHEME)  
 C6 = BENJAMIN MOORE PAINT, FAIRVIEW TAUPE B.M. HC-85  
 C7 = BENJAMIN MOORE PAINT, IRON MOUNTAIN B.M. 2134-30
- CE** CONC. BLOCK - EXG REMAIN & PAINT:  
 C6 = PAINT PER EXTERIOR COLOR SCHEME
- CN** CONC BLOCK - NEW TO MATCH EXG TEXTURE, COURSING & PAINT COLOR C6
- C** CANOPY - 12" ALUMINUM FASCIA SYSTEM  
 COLOR = WHITE
- CJ** CONTROL JOINT SPACING: PER MANUFACTURER RECOMMENDATION & INSTALLATION STANDARD
- DS** PROVIDE NEW DOWNSPOUT & GUTTER AS REQUIRED (OR PAINT EXG GUTTER & DOWNSPOUT TO MATCH ADJACENT)
- EF** EXISTING FINISH - WHEN PAINTED:  
 C6 = PAINT PER EXTERIOR COLOR SCHEME  
 SEE NOTE ABOVE
- GR** GUARD RAIL - NEW, EXISTING GALVANIZED, OR REPAINT TO MATCH BASE BUILDING
- LE** LIGHT FIXTURE (ACCENT, LED)  
 - SEE ELECTRICAL ON ROOF PLAN  
 - TYPE  
 L2 = DOWN ONLY FIXTURE  
 L3 = INTEGRAL CANOPY FIXTURE  
 L4 = FLOOD LIGHT UP FIXTURE  
 - COLOR  
 C2 = WHITE  
 C5 = SILVER
- LF** LIGHT FIXTURE (SCONCE, ETC., LED)  
 - SEE ELECTRICAL ON ROOF PLAN  
 - TYPE  
 L2 = DOWN ONLY FIXTURE  
 L5 = RECESSED DOWN FIXTURE  
 - COLOR  
 C2 = WHITE  
 C5 = SILVER
- MB** NEW BREAK METAL  
 - MATCH EXISTING WINDOW MULLIONS
- MF** METAL FASCIA: ERA METAL  
 COLOR = CITYSCAPE  
 1 = PRE-FAB ANCHOR-TITE FASCIA  
 2 = PRE-FAB CUSTOM BRAND WALL FC  
 3 = PRE-FAB LEDGE CAP FASCIA
- ML** METAL LETTERING - BY OTHERS  
 COLOR = SILVER
- MP** METAL - PAINT DOOR OR EQUIPMENT TO MATCH COLOR SCHEME
- MR** STANDING SEAM METAL ROOF & TRIM w/ SNOW GUARD CLEATS @ WALKS & D.T.  
 COLOR: ENGLERT PRE-WEATHERED GALVALOME
- PT** PASS-THRU COIN COLLECTOR  
 - OPTIONAL (RMHC)
- PB** PIPE BOLLARD - PROVIDE YELLOW PVC COVER PER McDONALD'S STANDARDS
- RS** ROOF SCREEN WALL:  
 TREX BOARDS ON METAL FRAME.  
 PAINT TO MATCH BASE BUILDING.
- S** McDONALD'S SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT.
- SF** NEW STORE FRONT & GLAZING.  
 (T = TEMPERED),  
 - COLOR TO MATCH EXISTING
- SI** APPLIED A.D.A. SIGNAGE BY FORREST PERMA-SIGN.  
 SEE GENERAL NOTE #4 ON A1.0  
 - TYPE  
 xx S1 = SIGN #778  
 S2 = SIGN #352 OR #353  
 S3 = SIGN #93A
- ST** STUCCO CEMENT BRD w/ SANDPEBBLE FIN.  
 - SEE WALL SECTIONS, DETAILS & NOTES ON A3  
 - COLOR: STATOTONE HIGH PERFORMANCE, MATCH BENJAMIN MOORE OR EQ.  
 - PAINT PER EXTERIOR COLOR SCHEME
- T1** ALUMINUM TRELLIS - SEE PLAN FOR DEPTH  
 - COLOR  
 C1 = CITYSCAPE  
 C2 = WHITE  
 C3 = CHARCOAL  
 C4 = GOLD
- T2** ALUMINUM TRELLIS TIE BACK  
 - COLOR  
 C3 = CHARCOAL
- T3** ALUMINUM TRELLIS 2x8 WALL FASCIA  
 COLOR C1 = CITYSCAPE
- TL** TILE - SEE EUROWEST TILE PACKAGE NOTE THIS SHEET
- TR** TRIM - CEMENT BOARD 1x...  
 - PAINT PER EXTERIOR COLOR SCHEME
- WP** FULLERTON PRE-FINISHED WALL PANELS:  
 - TEXTURE PATTERN, HAND-FLOAT FINISH & PER A3.0  
 - PAINT PER EXTERIOR COLOR SCHEME  
 \*ALTERNATE MATERIAL: STUCCO FINISH.  
 - SEE NOTE "ST"  
 - BLOCK CAST FINISH  
 - BRICK CAST FINISH

STATE OF MICHIGAN  
 FRANK Z. MARTIN  
 ARCHITECT  
 No. 1301019881  
 LICENSED ARCHITECT

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 www.dorchenmartin.com

PREPARED FOR:  
**McDonald's USA, LLC**  
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TITLE: McDonald's BUILDING MODIFICATIONS  
 2000 SERIES BUILD'G w/ PP  
 DESCRIPTION: MAJOR REMODEL - INTERIOR / EXTERIOR  
 Customer & Service Renovations

SHEET NO: #021-1306  
**A2.1**  
 ELEVATIONS

DRAWN BY: DMA-MI Team  
 STD ISSUE DATE: -  
 REVIEWED BY: -  
 DATE ISSUED: WINTER 2019

SITE ADDRESS:  
 021-1306 1963 E. REMUS ROAD, MT PLEASANT, MI #18034P

REVISIONS:  
 B 2-28-2019 BIDS / BUILDING PERMIT REVIEW  
 A 1-16-2019 FINAL BRAND REVIEW

BY: SAK  
 DWA

## Jennifer Loveberry

---

**From:** Peter Gallinat  
**Sent:** Wednesday, March 13, 2019 1:46 PM  
**To:** Jennifer Loveberry  
**Subject:** FW: Comments on Dr. Yacisen and McDonalds  
**Attachments:** McDonald's Union Twp - ICRC Comments 2019-03-13.pdf

See email below and attachment above.

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)

---

**From:** Pat Gaffney <[PGaffney@isabellaroads.com](mailto:PGaffney@isabellaroads.com)>  
**Sent:** Wednesday, March 13, 2019 1:17 PM  
**To:** Peter Gallinat <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>  
**Subject:** RE: Comments on Dr. Yacisen and McDonalds

Peter,

Comments – McDonalds see attached. No improvements required at existing driveway. However there is a potential issue with drainage off the curb and the proposed sidewalk.

Patrick J. Gaffney, PE  
Engineer Superintendent  
Isabella CRC  
989-773-7131 x115  
989-772-2371 fax  
[pgaffney@isabellaroads.com](mailto:pgaffney@isabellaroads.com)

---

**From:** Peter Gallinat [<mailto:pgallinat@uniontownshipmi.com>]  
**Sent:** Wednesday, March 13, 2019 11:34 AM  
**To:** Pat Gaffney  
**Subject:** Comments on Dr. Yacisen and McDonalds

Pat, I am looking to see if you have an comments on the Site Plans for McDoanlds at 1963 E. Remus Rd. Or Dr. Yacisen's medical office on 5316 E. Pickard.

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.

Mt Pleasant, MI 48858

989-772-4600 x 241

[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)

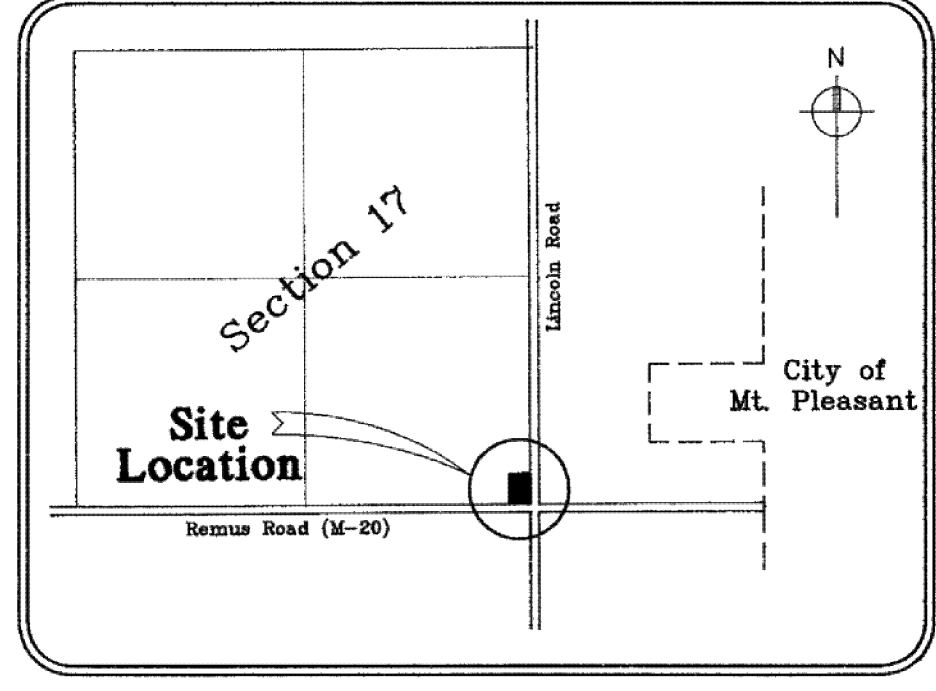
**PUBLIC WALK NOTES**

- A THE PROPOSED CONCRETE PUBLIC SIDEWALK ALONG LINCOLN ROAD IS SHOWN FOR DIAGRAMMATIC PURPOSES ONLY - A ZBA VARIANCE REQUEST WILL BE SUBMITTED IN ORDER TO OBTAIN PROVISIONAL RELIEF DUE TO UNIQUE EXISTING SITE CONDITIONS (E.G. RETENTION BASIN, SWALES, ETC...). SEE SHEET C2 FOR REFERENCE ONLY.
- B THE PROPOSED CONCRETE PUBLIC SIDEWALK ALONG REMUS ROAD IS SHOWN FOR DIAGRAMMATIC PURPOSES ONLY - PROVISIONAL RELIEF WILL BE REQUESTED OF THE PLANNING COMMISSION DUE TO UNIQUE EXISTING SITE CONDITIONS (E.G. RETENTION BASINS, SWALES, ETC...). SEE SHEET C2 FOR REFERENCE ONLY.

**TAGGED SITE NOTES**

- 1 RE-STRIPE CROSSWALK AS SHOWN.
- 2 REMOVE EX'G ASPHALT PAVING AND REPAVE BARRIER-FREE PARKING AREA W/6" CONCRETE SLAB SO AS NOT TO EXCEED A 2% SLOPE IN ANY DIRECTION. STRIPE AND MARK BARRIER-FREE SPACES & AISLE AND PROVIDE B.F. PARKING SIGNAGE PER ADA REQUIREMENTS. (SEE BARRIER REPORT NOTE #1)
- 3 PROVIDE NEW CONCRETE BARRIER-FREE RAMP AND LANDINGS. (SEE BARRIER REPORT NOTES #2 & 3, ALSO SEE "ADA SITE COMPLIANCE NOTES", THIS SHEET)
- 4 REMOVE AND REPLACE SECTIONS OF CONCRETE WALK SO THAT CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5% (SEE BARRIER REPORT NOTE #4).
- 5 PROVIDE ACCESSIBLE SIGNAGE PER ADA REQUIREMENTS. (SEE BARRIER REPORT NOTE #5 AND FLOOR PLAN FOR SIGNAGE PLACEMENT).
- 6 PROVIDE SPEECH AND HEARING IMPAIRED SIGNAGE PER McDONALD'S STANDARDS / A.D.A. REQUIREMENTS. (SEE BARRIER REPORT NOTE #6 AND FLOOR PLAN FOR SIGNAGE PLACEMENT).
- 7 PROPOSED CONSTRUCTION OF McDONALD'S "BRANDING ELEMENT" - SEE FLOOR PLAN AND ELEVATIONS FOR EXTENT OF PROPOSED EXTERIOR IMPROVEMENTS.
- 8 PROVIDE (2) OOSP PULL-FORWARD AND (2) MOBILE-ORDER PICK-UP SPACES. DESIGNATE WITH SIGNAGE AND DOUBLE-STRIPING PER McDONALD'S STANDARDS.
- 9 RE-PAINT D.T. PAVEMENT MARKINGS AS REQUIRED PER McDONALD'S SITE AND DRIVE-THRU STANDARDS - TYP. THROUGHOUT SITE. SEE GENERAL NOTE #12, THIS SHEET.
- 10 IF EXISTING BUILDING IS TO BE PAINTED, PAINT EXISTING TRASH CORRAL AND NEW RECYCLE BIN TO MATCH BUILDING NEW BASE COLOR (SEE SHEET C1a).
- 11 VERIFY EXISTENCE OF DETECTOR LOOP IN FIELD. SEE GENERAL NOTE #4, THIS SHEET, AND REFER TO McDONALD'S STANDARD DRIVE-THRU DETAIL SHEET DT-1.
- 12 NEW SIDE-BY-SIDE DRIVE-THRU: REMOVE EXISTING DRIVE-THRU EQUIPMENT (FOUNDATIONS CAN REMAIN PROVIDED THEY DO NOT INTERFERE WITH INSTALLATION OF NEW EQUIPMENT). INSTALL NEW SPEAKER/CANOPY, DETECTOR LOOP, COD/MENU-BOARD AND PRE-BROWSE BOARD AS SHOWN PER McDONALD'S SIDE-BY-SIDE DRIVE-THRU STANDARDS (TYP. OF 2 EACH). (SEE SHEETS CP2, CP3 & CP4)
- 13 NEW SIDE-BY-SIDE DRIVE-THRU: REMOVE EXISTING GATEWAY. INSTALL NEW DOUBLE-ARM GATEWAY. (SEE SHEET CP4)\*
- 14 REMOVE EXISTING CONC. CURB, LANDSCAPE AND/OR ASPHALT PAVING
- 14a PROVIDE NEW CONC. CURB AND PAVING FOR NEW SIDE-BY-SIDE DRIVE-THRU LAYOUT.
- 15 NEW RECYCLE BIN CONSTRUCTION TO MATCH EXISTING TRASH CORRAL HEIGHT, MATERIAL AND FINISH, WITH CONC. PAD AND APPROACH. PROVIDE (1) SET OF GATES TO FIT OPENING AND MATCH EXISTING.
- 16 EXISTING LOT LIGHT TO BE REMOVED AND RELOCATED.

**LOCATION MAP**

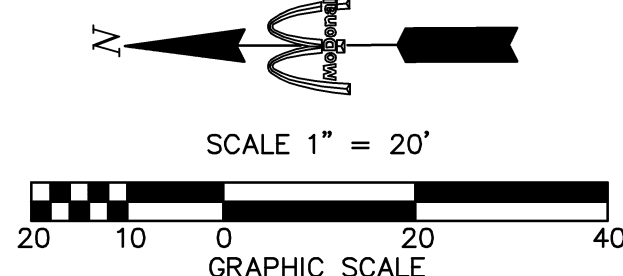


**LEGAL DESCRIPTION**

**Parcel Description**  
 Part of the South 1/2 of the Southeast 1/4 of Section 17, Township 14 North, Range 4 West, Union Township, Isabella County, Michigan, more fully described as:  
 BEGINNING at the Southeast corner of said Section 17; thence S89°37'58" W 300.00 feet along the South line of said section 17; thence N00°17'42" W 400.00 feet; thence N89°37'58" E 300.00 feet to the East line of said Section 17; thence S00°17'42" E 400.00 feet along said East line to the POINT OF BEGINNING.  
 Containing 120,000 Sq. Ft. and/or 2.75 Acres of land, more or less.  
 Subject to the right of way of Lincoln Road.  
 Subject to right of way of State Highway M-20, also known as Remus Road as recorded in Liber 172, Page 421.  
 Subject to rights of way in favor of Consumers Power Co. as recorded in Liber 273, Page 523 and Liber 516, Page 146  
 Subject to Water and Sewer Easements in favor of Union Twp. as Recorded in Liber 718, Page 638; Liber 722, Page 696 and Liber 731, Pages 257 & 307.  
 TAX I.D.#: 14-017-40-001-01

**SITE COMPLIANCE NOTES PER ADA REQUIREMENTS**

- GENERAL NOTE:**  
 1. REFER TO THE SITE SPECIFIC ADA SURVEY FOR A LIST OF BARRIERS TO BE REMEDIED AND ENSURE COMPLIANCE WITH ADA REQUIREMENTS.
- PARKING LOT:**  
 1. "VAN ACCESSIBLE" SIGN: MUST BE PROVIDED AT INDICATED VAN ACCESSIBLE SPACE  
 2. DRIVE THRU: SPEECH/HEARING IMPAIRED SIGN MUST BE PROVIDED AT C.O.D.'S, CASH AND PRESENT WINDOWS.  
 3. PARKING SPACES AND ACCESSIBLE AISLES TO HAVE MAXIMUM 1:48 (2%) RUNNING AND CROSS SLOPE.  
 4. CROSSWALK FROM ACCESSIBLE AISLE TO ACCESSIBLE RAMP TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE AND MAXIMUM 1:48 (2%) CROSS SLOPE.  
 5. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1/2 MAXIMUM SLOPE (50%)).
- CURB RAMPS:**  
 1. TRANSITIONS TO BE FLUSH AND FREE OF ABRUPT CHANGES.  
 2. MUST MAINTAIN 36" MINIMUM WIDTH (EXCLUSIVE OF FLARED SIDES).  
 3. RUNNING SLOPE: NEW 1:12 (8.3%) MAXIMUM - EXISTING 1:10 UP TO 6" RISE.  
 4. RAMP SURFACE TO HAVE MAXIMUM 2% CROSS SLOPE.  
 5. TOP LANDING TYPE I, II & IV, TO HAVE MAXIMUM 2% SLOPE IN CHANGE OF DIRECTION.  
 6. TOP LANDING TYPE III, TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE.  
 7. GUTTER PAN SLOPE MAXIMUM 1:20 (5%).
- SIDEWALKS:**  
 1. SIDEWALKS TO HAVE MAXIMUM 1:50 (2%) CROSS SLOPE.  
 2. SIDEWALKS TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE.  
 3. MINIMUM WIDTH 36".  
 4. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1/2 MAXIMUM SLOPE (50%)).
- ENTRY DOOR LANDINGS:**  
 1. LANDING SURFACE, INSIDE AND OUTSIDE, TO HAVE MAXIMUM 2% SLOPE IN ANY DIRECTION



**EXISTING SITE NOTE**

EVERYTHING SHOWN ON THIS SITE PLAN IS EXISTING EXCEPT THOSE AREAS "CLOUDED" NOTED FOR DRIVE-THRU ORDERING AND/OR SITE/BUILDING MODIFICATIONS, OR UNLESS OTHERWISE NOTED

**GENERAL NOTES**

- 1. McDONALD'S ROAD SIGN: EXISTING.
- 2. ALL SITE WORK SHALL BE ACCORDING TO McDONALD'S STANDARDS.
- 3. ALL LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING ARE EXISTING. IF OTHERWISE NOTED AS NEW OR RELOCATED, LOT LIGHTING SHALL MATCH EXISTING AND BE INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR.
- 4. EACH DRIVE-THRU WINDOW TO BE PROVIDED A WITH DETECTOR LOOP. VERIFY IN FIELD THE EXISTENCE OF THE DETECTOR LOOPS. SAWCUT EXISTING SLAB AND REPLACE OR PROVIDE NEW WHERE NECESSARY. TIE INTO EXISTING LOOP DETECTOR ELECTRICAL SYSTEM.
- 5. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
- 6. GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
- 7. REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING/DEMOLITION AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS, IF APPLICABLE.
- 8. REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS, IF APPLICABLE.
- 9. EXISTING TRASH CORRAL TO REMAIN AND MATCH BUILDING'S BASE COLOR.
- 10. ALL RADII NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
- 11. BARRIER FREE RAMP TO BE 8'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL.
- 12. PAINTED SITE DIRECTIONAL ARROWS, LINES AND SYMBOLS TO BE WHITE. HANDICAP LINES AND SYMBOLS ARE BLUE #123. DRIVE-THRU DOUBLE-STRIPING & CIRCLE DIRECTIONAL ARROWS TO BE PAINTED YELLOW. LOT PAINTING TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND McDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS. SEE SITE PLANNING GUIDE V3.1, OR LATEST VERSION.
- 13. INSTALLATION OF FLAGPOLE(S) IS OPTIONAL AND PER THE OWNER/OPERATOR'S REQUEST. IF USED, FLAGPOLE(S) MUST BE ILLUMINATED.

**LAND/BUILDING/PARKING DATA AND NOTES**

LAND AREA:	120,000 S.F. OR 2.75 ACRES
NET AREA (MINUS RIGHT OF WAY):	87,500 S.F. OR 2.01 ACRES
ZONING CLASSIFICATION:	B5 HIGHWAY BUSINESS
ADJACENT ZONING (ALL DIRECTIONS):	B5 HIGHWAY BUSINESS
GROSS BUILDING AREA:	4,351 S.F.

<b>BUILDING SETBACKS PROVIDED (EXISTING):</b>	
FRONT YARD SETBACK:	75 FEET, 1 INCH
FRONT YARD SETBACK (EAST):	154 FEET, 3 INCHES
SIDE YARD SETBACK (WEST):	59 FEET, 3 INCHES
REAR YARD SETBACK:	149 FEET, 2 INCHES

<b>PARKING REQUIRED:</b>	
1 SPACE / 3 SEATS ALLOWED WITH MAXIMUM OCCUPANCY	
78 SEATS / 3 S.F. = 26 SPACES	
TOTAL PARKING REQUIRED	26 SPACES
NUMBER OF H.C. SPACES REQUIRED =	2 SPACES

<b>PARKING PROVIDED:</b>	
STANDARD SPACES PROVIDED	45 SPACES
NUMBER OF H.C. SPACES PROVIDED	2 SPACES
TOTAL SPACES PROVIDED	47 SPACES

<b>LOADING / UNLOADING AREA PROVIDED:</b>	
(1) 10' x 50'	
TOTAL LOADING / UNLOADING AREA PROVIDED:	= 500 S.F.

**LANDSCAPE PROVIDED (EXISTING):**  
 LANDSCAPE AREA IS EXISTING AND WILL ONLY BE MODIFIED AT NEW SIDE-BY-SIDE DRIVE-THRU.

**LOT LIGHTING PROVIDED (EXISTING):**  
 LOT LIGHTING IS EXISTING AND WILL ONLY BE MODIFIED AT NEW RECYCLE BIN CONSTRUCTION (SEE TAG NOTE #16)

**CONSTRUCTION TYPE:** = VB  
 - NON-SPRINKLERED  
 - 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS

**PARKING INFORMATION**

TOTAL SPACES	47
2 B.F. SPACES	3
SPACES	44

**ARCHITECT/PLANNER/APPLICANT**

<b>ARCHITECTS/PLANNERS</b>	
Dorchen/Martin Associates, Inc.	
29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231 e-mail: dmo@dorchenmartin.com www.dorchenmartin.com	
<b>SURVEYOR</b>	<b>CIVIL ENGINEER</b>
VENTURE ENGINEERING, PLLC 8515 RIDGEBLUFF DR. SW BYRON CENTER, MI, 49315 PHONE: 616-490-0329 email: venturecivil.com	VENTURE ENGINEERING, PLLC 8515 RIDGEBLUFF DR. SW BYRON CENTER, MI, 49315 PHONE: 616-490-0329 email: venturecivil.com

**SITE LOCATION**

PROJECT STREET ADDRESS 1963 E. REMUS ROAD		
CITY UNION TWP.	STATE MICHIGAN	COUNTY ISABELLA
NATIONAL I.D. NO. 17104	SITE LOCATION CODE NO. 021-1306	

**OWNER:** McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

**OWNER:** FRANK Z. MARTIN, ARCHITECT, No. 1301019881

**ARCHITECT SEAL:** [Seal]

**OWNER:** McDonald's

**DATE:** 12/20/18

**ISSUE REF:**

REV	DATE	DESCRIPTION	ISSUE REF
A	12/20/18	SUBMITTAL TO MCDONALD'S FOR SITE PER	
B	2/25/19	SUBMITTAL FOR BIDS/PERMIT	
U	2/25/19	SUBMITTAL TO TWP. FOR SFA	

**PLAN APPROVALS:**

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

**CO-SIGN SIGNATURES:**

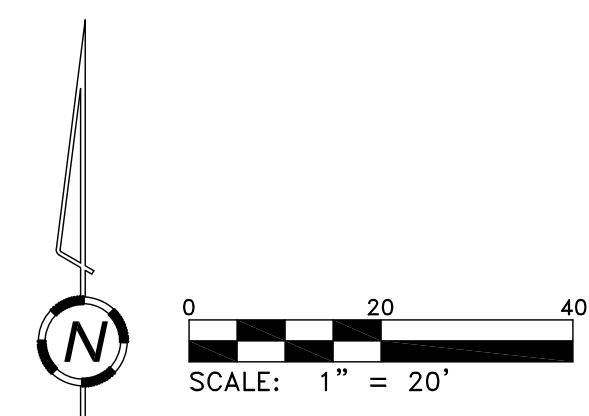
DATE	STATUS	DATE	BY
	PLAN CHECKED	DEC 2018	DMA
	AS-BUILT		

**C1**

N89°37'58"E 300.00'

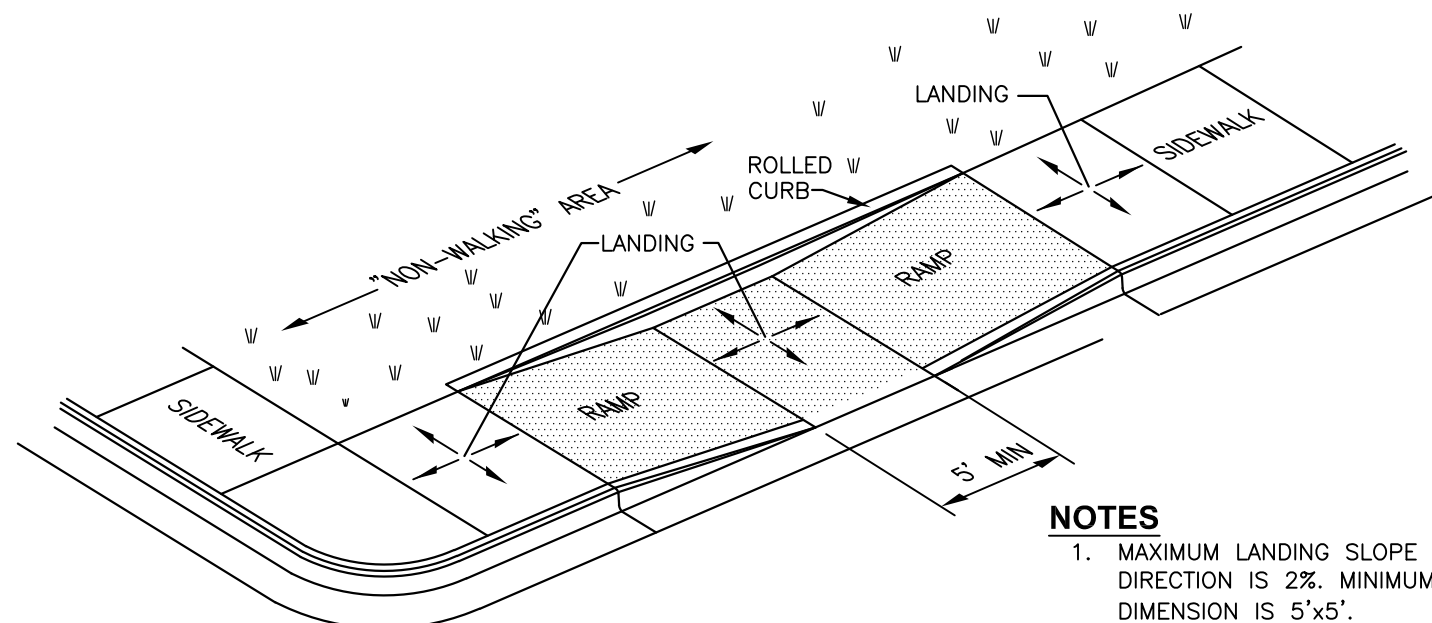
LEGEND

- PROPOSED CONTOURS
EXISTING CONTOURS
DRAINAGE STRUCTURES
PROPOSED STORM SEWER
SILT FENCE
PROPOSED SPOT/GUTTER ELEVATION
DIRECTION OF DRAINAGE FLOW
SWALES
DRAINAGE HIGH POINTS



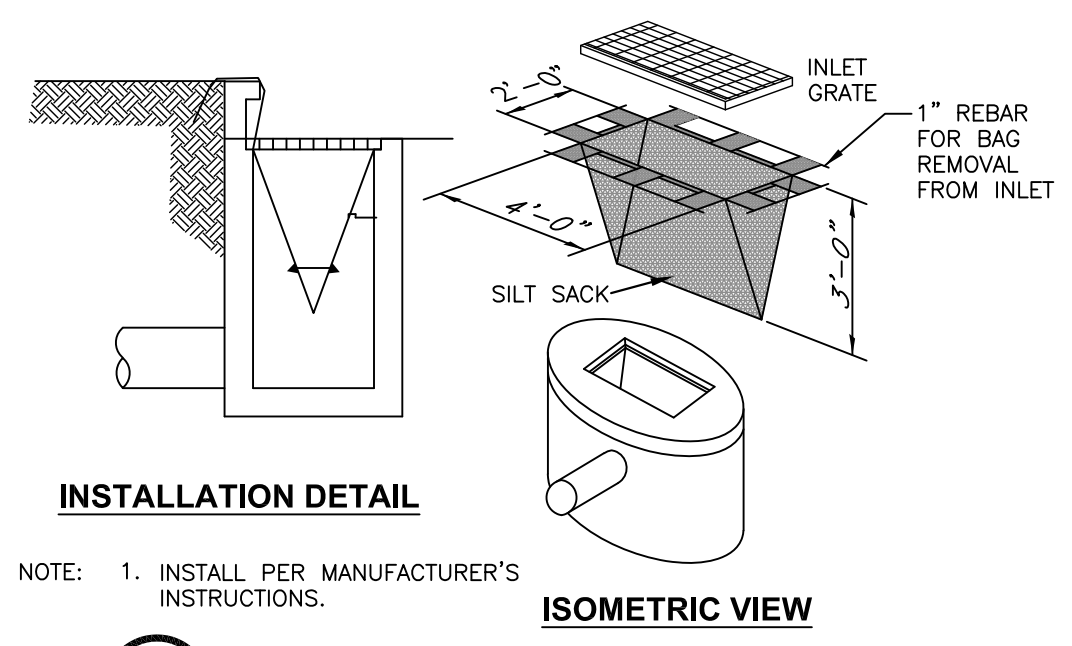
SESC NOTES

- 1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY & LOCAL PERMIT AGENCY STANDARDS.
2. GRADING WILL BE LIMITED TO REMOVAL LIMITS AS SHOWN.
3. NO SOIL WILL BE ALLOWED TO ACCUMULATE OFF SITE. ANY SOIL TRACKED OFF SITE IS TO BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
4. WHERE POSSIBLE SILT FENCE IS TO BE PLACED 10' FROM TOE OF SLOPE TO ALLOW FOR MAINTENANCE.
5. ALL DISTURBED AREAS TO BE SEEDED WITHIN 5 CALENDAR DAYS OF ACHIEVING FINAL GRADE WITH PERMANENT SEED MIXTURE.
6. ALL SLOPES GREATER THAN 1:4 AND DRAINAGE SWALES SHALL BE STABILIZED WITH NORTH AMERICAN GREEN DS-150 EROSION CONTROL BLANKET OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. BLANKETS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
7. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO BE CHECKED DAILY AND ANY PROBLEMS REMEDIED IMMEDIATELY.
8. PERMANENT EROSION CONTROL MEASURES TO BE MAINTAINED BY PROPERTY OWNER. MAINTENANCE INCLUDES REGULAR INSPECTION AND CLEAN OUT OF CATCH BASINS, ENSURING VEGETATION IS ADEQUATE ON ALL SLOPES.
9. INSTALL SILT FENCE & INLET PROTECTION AS SHOWN. MAINTAIN SILT FENCE BY REMOVING SEDIMENT WHEN IT HAS REACHED 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE.
10. PLACE INLET PROTECTION IN ALL PROPOSED CATCH BASINS IMMEDIATELY FOLLOWING INSTALLATION. INLET PROTECTION TO BE "SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL.
11. PERMANENT CONTROL MEASURES MUST BE COMPLETED 5 CALENDAR DAYS AFTER THE FINAL EARTH CHANGE IS COMPLETED FOR EACH AREA DISTURBED. THIS INCLUDES BLANKETS, SEEDING, MULCHING & HYDROMULCHING, AS INDICATED IN THESE PLANS.
12. FOR ALL AREAS TO BE SEEDED, THE MULCH MUST BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.
13. CLEAN STORM SEWER, INLETS AND PIPES OF ALL CONSTRUCTION SEDIMENT IMMEDIATELY FOLLOWING PROJECT COMPLETION.
14. REMOVE TEMPORARY CONTROLS SUCH AS SILT FENCE, INLET PROTECTION AND NETTING ONCE VEGETATION IS ESTABLISHED AND THE SITE HAS BEEN STABILIZED.



SIDEWALK RAMP TYPE P (PARALLEL RAMP) NO SCALE

- NOTES
1. MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2%. MINIMUM LANDING DIMENSION IS 5'x5'.
2. MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2%). RUNNING SLOPE 5%-7% (8.3% MAX).
3. REFER TO MDT STANDARD DETAIL R-28 SERIES FOR MORE INFORMATION.



INSTALLATION DETAIL ISOMETRIC VIEW S58 INLET PROTECTION - FABRIC DROP

PERMANENT SEEDING NOTE

E8 ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND LAWN SEED MIX AS INDICATED ON PLANS AND AS FOLLOWS:
PROPORTION CLASS "A" SEED TYPE
10% CANNON KENTUCKY BLUEGRASS
10% GOLDRUSH KENTUCKY BLUEGRASS
20% RONDE KENTUCKY BLUEGRASS
20% SR1100 CHEWINGS FESCUE
20% SR5200 CREEPING RED FESCUE
10% SR4400 PERENNIAL RYEGRASS
10% SR4500 PERENNIAL RYEGRASS
SEEDING RATE SHALL BE 4 TO 6 lbs. PER 1000 SQ. FEET.
ALL AREAS DESIGNATED FOR PERMANENT SEEDING SHALL BE HYDRO-SPRAYED.

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET S-E-S-C KEYING SYSTEM

Table with columns: KEY, BEST MANAGEMENT PRACTICES, SYMBOL, WHERE USED. Rows include E8 PERMANENT SEEDING and S58 INLET PROTECTION FABRIC DROP.

NOTES:

- 1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES IN PLACE UNLESS NOTED FOR REMOVAL.
2. ALL CONCRETE SIDEWALK & CURB REMOVALS SHALL BE TO THE NEAREST JOINT.
3. BITUMINOUS PAVEMENT REMOVAL LIMITS SHALL BE BY SAW CUT.
4. EXISTING UTILITIES SHOWN ARE FROM RECORD PLANS AND EVIDENCE IN THE FIELD. NO GUARANTEE IS MADE FOR ACCURACY OR THAT THE UTILITIES SHOWN ARE THE ONLY IN THE AREA.
5. CONTRACTOR SHALL CLEAN & REMOVE SEDIMENT FROM ALL SITE DRAINAGE STRUCTURES FOLLOWING CONSTRUCTION.
6. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET UNION TOWNSHIP REQUIREMENTS.
7. PROPOSED SITE WORK CONSISTS OF NEW CURB, RE-PAVING AND RE-GRADING ONLY. NO OTHER WORK INVOLVING ANY EXISTING SITE UTILITIES IS PROPOSED. TOTAL DISTURBED AREA = 0.17 ACRES±
8. IMPERVIOUS SURFACE NOTE:
EXISTING IMPERVIOUS SURFACE = 0.87 AC (37,751 SF)
PROPOSED IMPERVIOUS SURFACE = 0.87 AC (38,094 SF)
PROPOSED IMPROVEMENTS RESULT IN A 0.008 AC (343 SF) INCREASE IN IMPERVIOUS SURFACE.
8. REFER TO SITE PLAN FOR PARKING SPACE AND LOT STRIPING.

ELEVATION DATUM

All Elevations are based on NAVD 88 Datum. Contours are illustrated at 1.0' intervals

BM#1 Elevation: 791.60
Box cut in North Northeast side of concrete light pole base 55'± east of the east side of McDonalds building.
NOTE: ADD 700 TO ALL PROPOSED SPOT ELEVATIONS TO MATCH SURVEY DATUM.

EXIST. STRUCTURE INVERTS

- ROUND CB#1
RIM: 788.26
12" E 783.94
12" W 783.97
NO OTHER PIPES VISIBLE
ROUND CB#2
RIM: 788.20
12" E 783.89
6" SW 784.30
12" W 783.90
NO OTHER PIPES VISIBLE
ROUND CB#3
RIM: 788.41
12" E 784.41
NO PIPES VISIBLE
TOP OF WATER 784.61
ROUND CB#4
RIM: 788.98
12" E 784.50
NO OTHER PIPES VISIBLE

NOT FOR CONSTRUCTION

PAVING SPECIFICATION (MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)
AUTO PARKING:
SUBBASE: 12" CLI SAND
BASE: 8" MIN. STONE, 21A, 21AA OR EQUIV.
ASPHALT: 1.5" MIN. LEVELING COURSE MDOT HMA 3C
1.5" MIN. WEARING COURSE MDOT HMA 4C OR EQUIV.
CONCRETE PADS & PAVING:
SUBBASE: 12" CLI SAND
BASE: 8" MIN. STONE, 21A, 21AA OR EQUIV.
CONCRETE: 4000 PSI-35S W/ 6AA LIMESTONE, 6" MIN. DEPTH W/ 6"x6" #10 W.W.F. AND "FIBERMESH" CRACK CNTRL FIBERS

PARKING INFORMATION table with columns: TOTAL SPACES, SPACES, X, O, .

Engineering and Surveyor information including VENTURE ENGINEERING, PLLC logo and contact details.

SITE GRADING & EROSION CONTROL PLAN

Table with columns: PROJECT STREET ADDRESS, TOWNSHIP, STATE, COUNTY, NATIONAL STORE NO., SITE LOCATION CODE NO., STATUS, DATE, BY.

Professional Engineer seal for Jeffrey Mark Brinks, State of Michigan, License No. 37626. McDonald's logo and address: 1963 E. Remus Road, Union, Michigan 48134. Signature lines for Plan Approvals and Co-Sign Signatures.



# EXHIBIT B

LIBER 843 PAGE 367

Rights of the public in any part of insured captioned land used or dedicated for road purposes.

Easement to the State of Michigan for highway purposes dated January 19, 1937 and recorded May 8, 1937 at Liber 172, Page 421.

Right of Way to Consumers Power Company for the purpose of distributing electricity and/or conducting a communication business through captioned land and other real estate dated December 17, 1956 and recorded April 22, 1957 at Liber 273, Page 523.

Easement to Consumers Power Company dated March 11, 1983 and recorded April 22, 1983 at Liber 516, Page 146.

Easement to Union Township for sewers dated June 28, 1991 and recorded July 17, 1991 at Liber 718, Page 638.

Easement to Union Township for Water Mains dated September 3, 1991 and recorded September 12, 1991 at Liber 722, Page 696.

Easement to Union Township for sewers and water mains dated October 17, 1991 and recorded October 24, 1991 at Liber 731, Page 257 and another dated October 18, 1991 and recorded October 24, 1991 at Liber 731, page 307.

SCANNED

JUN 6 2 1997

## Jennifer Loveberry

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**From:** Peter Gallinat  
**Sent:** Wednesday, March 13, 2019 12:22 PM  
**To:** Jennifer Loveberry  
**Subject:** FW: McDonald's Renovations Remus and Lincoln Roads - Union Township

Part 1 of 2

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
pgallinat@unionshipmi.com

---

**From:** Rick Collins <[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)>  
**Sent:** Monday, February 11, 2019 11:47 AM  
**To:** Frank Martin <[fmartin@dorchenmartin.com](mailto:fmartin@dorchenmartin.com)>  
**Cc:** Lorentzen John <[John.Lorentzen@us.mcd.com](mailto:John.Lorentzen@us.mcd.com)>; Gaehle, Harold <[hgaehle@emgcorp.com](mailto:hgaehle@emgcorp.com)>; Peter Gallinat <[pgallinat@unionshipmi.com](mailto:pgallinat@unionshipmi.com)>  
**Subject:** RE: McDonald's Renovations Remus and Lincoln Roads - Union Township

This parking lot is often backed-up and congested. I am not sure there is a feasible solution for that. The issue is the drive thru lane can extend beyond the drive off Lincoln road creating a situation where traffic is halted from both directions until the drive-thru catches up because people entering off Lincoln are waiting to turn directly into the drive-thru lane instead of circling the building.

The landscaped circle at the north and south side of the western end of the drive on Lincoln also make it difficult for larger vehicles to make that turn with encroaching traffic. If those could be removed or pushed eastward (without replacing them with parking spots) that would help as well avoiding the existing bottleneck.

Establishments with a drive-thru are often not transit friendly. For a bus to follow the directional arrows marked in the parking lot passengers boarding or disembarking a bus are stepping blindly into a traffic lane. If the traffic flow was clockwise rather than anticlockwise the passenger door of the bus would face the curb of the building. I'm not trying to change the world, just food for thought.

Thanks for your consideration.



**Rick Collins | Executive Director**  
2100 E. Transportation Dr | Mt. Pleasant, MI 48858  
Phone 989.773.6766 | Fax 989.773.1873  
[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)  
Visit our website at [ictcbus.com](http://ictcbus.com)

---

**From:** Frank Martin [<mailto:fmartin@dorchenmartin.com>]  
**Sent:** Friday, February 08, 2019 12:12 PM

To: Rick Collins <[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)>

Cc: Lorentzen John <[John.Lorentzen@us.mcd.com](mailto:John.Lorentzen@us.mcd.com)>; Gaehle, Harold <[hgaehle@emgcorp.com](mailto:hgaehle@emgcorp.com)>; Peter Gallinat <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>

Subject: McDonald's Renovations Remus and Lincoln Roads - Union Township

Mr. Collins,

We are the architects for McDonald's and are planning on renovating the above subject McDonald's with a construction start of May, 2019. I had been discussing this with Peter Gallinat, Planner in Union Twp., and he suggested I send the site plan to you to review relative to the impact our revised drive-thru configuration might have, if any, with buses and fire vehicles. In fact, the modifications we are proposing essentially maintain the existing aisles and drives as they exist at present.

Peters email to me stated the following:

***At a minimum, to get the ball rolling I'd like the plan reviewed by the Mt. Pleasant Fire Department, and the Isabella County Transportation Commission.***

***This is to ensure that their respective Trucks and Busses would still be able to navigate the site. Contact below.***

I have attached our proposed site plan and an aerial photo for your review and comments. Please call or write to discuss.

Frank Z. Martin AIA, NCARB



Dorchen/Martin Associates, Inc.  
Architects/Planners

29895 Greenfield Road, Suite 107

Southfield, Michigan 48076

Tel: 248.557.1062

Fax: 248.557.1231

Cell: 248.224.3714

e-mail: [fmartin@dorchenmartin.com](mailto:fmartin@dorchenmartin.com)

web: [www.dorchenmartin.com](http://www.dorchenmartin.com)

***Please consider the environment before printing this e-mail***

## Jennifer Loveberry

---

**From:** Peter Gallinat  
**Sent:** Wednesday, March 13, 2019 12:23 PM  
**To:** Jennifer Loveberry  
**Subject:** FW: McDonald's Renovations Remus and Lincoln Roads - Union Township

Part 2 of 2

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
pgallinat@uniontownshipmi.com

---

**From:** Frank Martin <fmartin@dorchenmartin.com>  
**Sent:** Tuesday, February 12, 2019 6:52 AM  
**To:** Rick Collins <rcollins@ictcbus.com>  
**Cc:** Lorentzen John <John.Lorentzen@us.mcd.com>; Gaehle, Harold <hgaehle@emgcorp.com>; Peter Gallinat <pgallinat@uniontownshipmi.com>; Sheryl Tingstad <stingstad@dorchenmartin.com>  
**Subject:** RE: McDonald's Renovations Remus and Lincoln Roads - Union Township

Mr. Collins,

Thank you for your comments and thoughts. I will try to address them as best I can in "RED" in your email response below.

This parking lot is often backed-up and congested. I am not sure there is a feasible solution for that. The issue is the drive thru lane can extend beyond the drive off Lincoln road creating a situation where traffic is halted from both directions until the drive-thru catches up because people entering off Lincoln are waiting to turn directly into the drive-thru lane instead of circling the building.

I believe we can improve the congestion, maybe not eliminate it all, with the introduction of the Side-By-Side (SBS) drive-thru we are proposing in lieu of the single ordering drive-thru that backs up. The new SBS drive-thru configuration will allow two orders to be taken at the same time and reduce the stacking and order delivery times, thus addressing a major portion of the congestion.

The guests who enter the site from Lincoln should not be waiting for the drive-thru in the aisle that goes to Lincoln if there is a backup. We may have to direct them to circle the building and get into the traditional stacking lane to relieve that congestion. This could be done with a directional sign on the north side of the access aisle from Lincoln so that these guests are directed around the building.

The landscaped circle at the north and south side of the western end of the drive on Lincoln also make it difficult for larger vehicles to make that turn with encroaching traffic. If those could be removed or pushed eastward (without replacing them with parking spots) that would help as well avoiding the existing bottleneck.

We may be able to modify the curb radius slightly, however, we may not want to remove them since they protect parked vehicles and a light pole. It might also require that larger vehicles simply enter from Remus Road so the turning challenge does not occur at the drive-thru stacking lane and Lincoln access drive. Again, I am hopeful that the introduction of directional signage and the SBS drive-thru will greatly reduce drive-thru ordering congestion.

Establishments with a drive-thru are often not transit friendly. For a bus to follow the directional arrows marked in the parking lot passengers boarding or disembarking a bus are stepping blindly into a traffic lane. If the traffic flow was clockwise rather than anticlockwise the passenger door of the bus would face the curb of the building. I'm not trying to change the world, just food for thought.

I certainly can understand the challenges, but believe that the "quick service" restaurants, banks, dry-cleaners and etc. are probably with us for a while. Truthfully, we are not accustomed to buses dropping off passengers blindly in a traffic lane – business establishment parking lots, whether restaurant, professional offices, dry cleaners, retail store and etc. are traditionally not designed for passenger busses and drop offs. I am certain, your smaller commuter vans could enter the McDonald's site from Remus

Road, stop near the non-drive thru guest entrance towards the east side of the aisle and let your passengers safely disembark to then cross the drive to the entrance.

As for reversing the flow of traffic on the site – really do not believe that would be possible, as you can imagine.

Hopefully, my comments and potential solutions are acceptable and logical, understanding that business, customers and public transportation have existed in harmony and can improve that harmony with minor adjustments by all.

Sincerely,

Frank Z. Martin AIA, NCARB



**Dorchen/Martin Associates, Inc.**  
Architects/Planners

29895 Greenfield Road, Suite 107  
Southfield, Michigan 48076  
Tel: 248.557.1062  
Fax: 248.557.1231  
Cell: 248.224.3714  
e-mail: [fmartin@dorchenmartin.com](mailto:fmartin@dorchenmartin.com)  
web: [www.dorchenmartin.com](http://www.dorchenmartin.com)

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**Mount Pleasant Fire Department**  
**804 E. High Street**  
**Mount Pleasant, Mi 48858**

**Union Township Site Plan Review**

Tuesday February 12, 2019

McDonald's Corporation

1963 E Remus RD

Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Tuesday February 12, 2019 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

---

**Violation Code**

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1 PROPERTY Identification

McDonald's

1963 E Remus Rd.

Project Scope: Inside renovation and reconfiguration of drive thru lanes.

---

BUILDING IDENTIFICATION Buildings Shall Have Address

Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.

Address numbers required on commercial property 6" numbers contrasting to mounting surface.

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GENERAL STATEMENT List Not All-Inclusive

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

Site plan meets requirements, recommending approval.

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## Union Township Site Plan Review

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Keeler, Randy  
Lieutenant  
Mount Pleasant Fire Department

## Jennifer Loveberry

---

**From:** Peter Gallinat  
**Sent:** Wednesday, March 13, 2019 12:21 PM  
**To:** Jennifer Loveberry  
**Subject:** FW: McDonalds Site Plan Review-MP Remus Rd.

See below

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
pgallinat@uniontownshipmi.com

---

**From:** Kim Smith  
**Sent:** Wednesday, March 06, 2019 11:59 AM  
**To:** Peter Gallinat <pgallinat@uniontownshipmi.com>  
**Cc:** Frank Martin <fmartin@dorchenmartin.com>  
**Subject:** RE: McDonalds Site Plan Review-MP Remus Rd.

Peter,  
Good afternoon, I received a site plan for 1963 E Remus Road on March 5, 2019, from Frank Martin at Dorchen/Martin Associates Inc. This site is currently serviced with township water by a 2" water lead and 6" sanitary sewer lead. The current water lead and sewer leads are not proposed to be changed on the site plan or as part of this project.

If you have any questions please let me know.

## Kim Smith



Department of Public Services  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858  
Phone (989) 772-4600 ext. 224  
Fax (989) 773-1988  
Visit us on the Web at  
<http://www.uniontownshipmi.com>

"This institution is an equal opportunity provider, and employer."



---

**From:** Peter Gallinat <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>  
**Sent:** Tuesday, February 26, 2019 11:55 AM  
**To:** Kim Smith <[ksmith@uniontownshipmi.com](mailto:ksmith@uniontownshipmi.com)>  
**Cc:** Frank Martin <[fmartin@dorchenmartin.com](mailto:fmartin@dorchenmartin.com)>  
**Subject:** FW: McDonalds Site Plan Review-MP Remus Rd.

Kim Smith: Attached is a pdf of the McDonalds Site Plan.

Frank Martin: Kim Smith is the head of our Department of Public Services.

Thank you Frank,

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)

---

**From:** Frank Martin <[fmartin@dorchenmartin.com](mailto:fmartin@dorchenmartin.com)>  
**Sent:** Tuesday, February 26, 2019 11:48 AM  
**To:** Peter Gallinat <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>  
**Subject:** RE: McDonalds Site Plan Review-MP Remus Rd.

Peter,

Of course, her is the PDF of the site plan.

Sincerely,

Frank Z. Martin AIA, NCARB



Dorchen/Martin Associates, Inc.  
Architects/Planners

29895 Greenfield Road, Suite 107  
Southfield, Michigan 48076  
Tel: 248.557.1062  
Fax: 248.557.1231  
Cell: 248.224.3714  
e-mail: [fmartin@dorchenmartin.com](mailto:fmartin@dorchenmartin.com)  
web: [www.dorchenmartin.com](http://www.dorchenmartin.com)

***Please consider the environment before printing this e-mail***

---

**From:** Peter Gallinat <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>  
**Sent:** Tuesday, February 26, 2019 11:40 AM  
**To:** Frank Martin <[fmartin@dorchenmartin.com](mailto:fmartin@dorchenmartin.com)>  
**Subject:** McDonalds Site Plan Review-MP Remus Rd.

Frank,

We received copies of the site plan, check, and application with proof of ownership.  
Could you please send me a pdf version of the site plan as well.

Thank you,

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)



Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

---

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: B) SPR 2019-03 Dr. Joseph Yacisen 5316 E. Pickard Rd.**

**Applicant:** CMS&D

**Owner:** SOS Holdings LLC

**Location:** 5316 E. Remus Rd. MT PLEASANT, MI 48858

**Current Zoning:** B-7 (Retail and Service Highway Business District)

**Adjacent Zoning:** B-7 and R-2B (across 2<sup>nd</sup> St.)

**Future Land Use/Intent:** Retail Service: This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.

**Current Use:** Vacant property

**Reason for Request:** Develop Medical Office

**History:** At this time, I have received approval from the five (5) required outside agencies. Township Utilities (for site plan approval only), Mt. Pleasant Fire Department, Isabella County Transportation Commission, Isabella County Road Commission and the Isabella County Drain office for storm water management. Applicant has not requested provisional relief from sidewalk construction. Applicant is seeking a variance from the ZBA in April for parking area set back requirements

**Objective of board:** Final site plan was received 14 days (03-05-2019) before our regular scheduled meeting on March 19, 2019. The Planning Commission shall study the site plan and shall, within sixty days of its submittal to the Zoning Official, either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated

**Recommendation from Township Planner**

Approve site plan on the condition that the variance for parking area set back requirement is granted.

Peter Gallinat  
Township Planner

## Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review **Final Site Plan Review**
- II. Applicant Name SOS Holding Company LLC
- III. Applicant Address P.O. Box 845, Alma, MI 48801
- IV. Applicant Phone 989-350-6098 Owner Phone \_\_\_\_\_
- V. Applicant is (circle) Contractor Architect/Engineer Developer **Land Owner** (skip V & VI)  
Other
- VI. Land Owner Name Same As Above
- VII. Land Owner Address \_\_\_\_\_
- VIII. Project/Business Name Medical Facility
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	x		Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	x		MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	x		Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	x		Rick (989) 773 2913, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>			
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	x		Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
<b>PERMIT INFORMATION - DEQ Check List</b>			
<b>SITE PLAN REQUIREMENTS</b>		<b>I Of</b>	<b>Comments - (also indicate any features which will not be included in the development or are not applicable)</b>
Name and addresses of Property Owner	x		
Name and Address of Applicant	x		
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	x		



## Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	x	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	x x	
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - -	x	
drives, -----	x	
sidewalks, (required ) -----	x	
curb openings, -----	x	
acceleration/deceleration lanes, -----	n/a	
signs, -----	x	
exterior lighting on buildings and parking lots, - -	x	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	x	
recreation areas, -----	x	
common use areas, -----	n/a	
areas to be conveyed for public use and purpose. -	n/a	
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	x	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	x	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	x	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	x	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	x	



**Union Township Site Plan Review Application** 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

Joseph Giacomin B O  
Signature of Applicant

03/04/2019  
Date

\_\_\_\_\_  
Signature of Owner (if other than applicant)

\_\_\_\_\_  
Date

PLEASE PLACE OUR REVIEW ON THE March 19, 2019 (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative **WILL**/ WILL NOT attend.  
You will not receive a reminder of the scheduled meeting.

**Union Township Site Plan Review Application 2015 Revision**

<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	
	_____



# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Medical Facility

Name of business owner(s): SOS Holding Company LLC

Street and mailing address: P.O. Box 845, Alma, MI 48801  
989-350-6098

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: yacisen@gmail.com

**I affirm that the information submitted is accurate.**

Owner(s) signature and date: Joseph Yacisen PO 3/04/2019

Information compiled by: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Part 1: Management of Hazardous Substances and Polluting Materials

1. **Y** **N** Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. **Y** **N** ~~Will any hazardous substances or polluting materials be stored on-site?~~  
on-site?
3. **Y** **N**  Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. **Y** **N** Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. **Y** **N** Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. **Y** **N**   Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank  
b. on-site system
- The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. **Y** **N** Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works





## PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
<b>MISCELLANEOUS CONSTRUCTION</b>			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <a href="#">Permit Section</a>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <a href="#">Asbestos Program</a>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <a href="#">Land and Water Management Decision Tree</a> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <a href="#">Joint Permit Application</a>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<a href="#">Soil Erosion and Construction Storm Water</a> , or Contact your <a href="#">Local Agency</a>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <a href="#">Storm Water Permits Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Public Swimming Pool Program</a> , or appropriate <a href="#">DEQ District Office</a>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, <a href="#">Threatened and Endangered Species Program</a> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <a href="#">District Office</a> , WRD, Part 41 <a href="#">Construction Permit Program</a>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <a href="#">Solid Waste</a> , Appropriate <a href="#">DEQ District Office</a>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, <a href="#">Treatment, Storage and Disposal</a>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>, select "drinking water")</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your <a href="#">Local Water Utility</a>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <a href="#">Local Health Department</a>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Guide</a> , Contact your (District or County) <a href="#">Local Health Department</a>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<a href="#">Community Water Supply</a> , <a href="#">DEQ District Office Community Water Supply Program</a>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

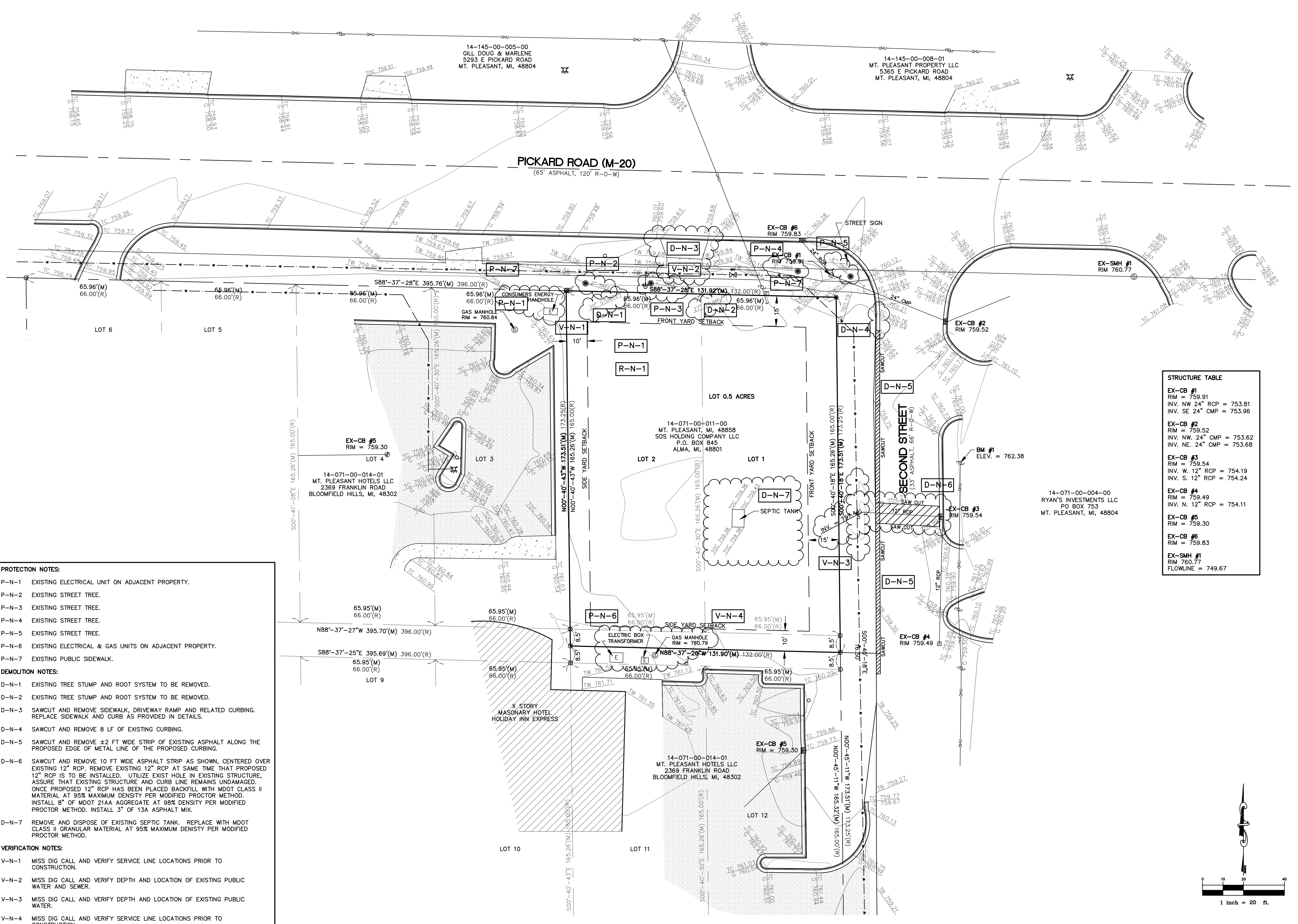
Water or Groundwater)?			
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>			
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>			
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>







**EXISTING TOPOGRAPHY/DEMOLITION PLAN**  
 DR. JOSEPH YACISEN, D.O.  
 SECTION 13 T14N-R14W  
 LOTS 1 AND 2, BLK 3 MAP OF GARDEN GROVE  
 CITY OF MT. PLEASANT, ISABELLA COUNTY, MICHIGAN



STRUCTURE TABLE	
EX-CB #1	RIM = 759.91 INV. NW 24" RCP = 753.81 INV. SE 24" CMP = 753.96
EX-CB #2	RIM = 759.52 INV. NW 24" CMP = 753.62 INV. NE 24" CMP = 753.68
EX-CB #3	RIM = 759.54 INV. W 12" RCP = 754.19 INV. S 12" RCP = 754.24
EX-CB #4	RIM = 759.49 INV. N 12" RCP = 754.11
EX-CB #5	RIM = 759.30
EX-CB #6	RIM = 759.83
EX-SMH #1	RIM 760.77 FLOWLINE = 749.67

- PROTECTION NOTES:**
- P-N-1 EXISTING ELECTRICAL UNIT ON ADJACENT PROPERTY.
  - P-N-2 EXISTING STREET TREE.
  - P-N-3 EXISTING STREET TREE.
  - P-N-4 EXISTING STREET TREE.
  - P-N-5 EXISTING STREET TREE.
  - P-N-6 EXISTING ELECTRICAL & GAS UNITS ON ADJACENT PROPERTY.
  - P-N-7 EXISTING PUBLIC SIDEWALK.
- DEMOLITION NOTES:**
- D-N-1 EXISTING TREE STUMP AND ROOT SYSTEM TO BE REMOVED.
  - D-N-2 EXISTING TREE STUMP AND ROOT SYSTEM TO BE REMOVED.
  - D-N-3 SAWCUT AND REMOVE SIDEWALK, DRIVEWAY RAMP AND RELATED CURBING. REPLACE SIDEWALK AND CURB AS PROVIDED IN DETAILS.
  - D-N-4 SAWCUT AND REMOVE 8 LF OF EXISTING CURBING.
  - D-N-5 SAWCUT AND REMOVE ±2 FT WIDE STRIP OF EXISTING ASPHALT ALONG THE PROPOSED EDGE OF METAL LINE OF THE PROPOSED CURBING.
  - D-N-6 SAWCUT AND REMOVE 10 FT WIDE ASPHALT STRIP AS SHOWN, CENTERED OVER EXISTING 12" RCP. REMOVE EXISTING 12" RCP AT SAME TIME THAT PROPOSED 12" RCP IS TO BE INSTALLED. UTILIZE EXIST HOLE IN EXISTING STRUCTURE. ASSURE THAT EXISTING STRUCTURE AND CURB LINE REMAINS UNDAMAGED. ONCE PROPOSED 12" RCP HAS BEEN PLACED BACKFILL WITH MDOT CLASS II MATERIAL AT 95% MAXIMUM DENSITY PER MODIFIED PROCTOR METHOD. INSTALL 8" OF MDOT 21AA AGGREGATE AT 98% DENSITY PER MODIFIED PROCTOR METHOD. INSTALL 3" OF 13A ASPHALT MIX.
  - D-N-7 REMOVE AND DISPOSE OF EXISTING SEPTIC TANK. REPLACE WITH MDOT CLASS II GRANULAR MATERIAL AT 95% MAXIMUM DENSITY PER MODIFIED PROCTOR METHOD.
- VERIFICATION NOTES:**
- V-N-1 MISS DIG CALL AND VERIFY SERVICE LINE LOCATIONS PRIOR TO CONSTRUCTION.
  - V-N-2 MISS DIG CALL AND VERIFY DEPTH AND LOCATION OF EXISTING PUBLIC WATER AND SEWER.
  - V-N-3 MISS DIG CALL AND VERIFY DEPTH AND LOCATION OF EXISTING PUBLIC WATER.
  - V-N-4 MISS DIG CALL AND VERIFY SERVICE LINE LOCATIONS PRIOR TO CONSTRUCTION.

REVISIONS:

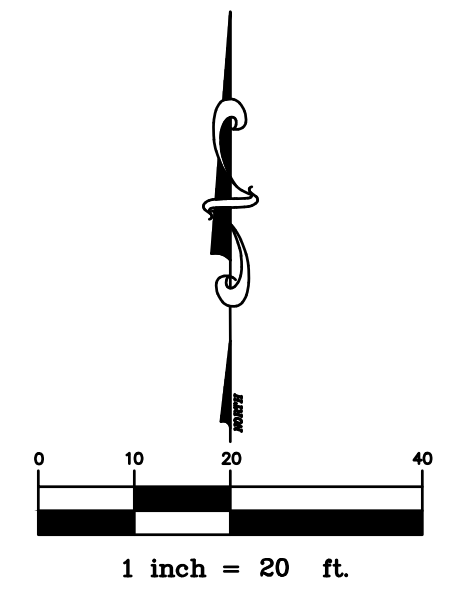
NO.	DATE	DESCRIPTION
1	3-4-19	SUBMITTAL TO TWP. PLANNING

SUBMITTALS:  
 SUBMITTAL TO TWP. PLANNING 3-4-19

JOB NUMBER: 1804-023  
 DRAWN BY: WRE  
 DESIGNED BY: TELB  
 CHECKED BY: TELB

SCALE: 1" = 20'

SHEET NUMBER: 2 OF 8





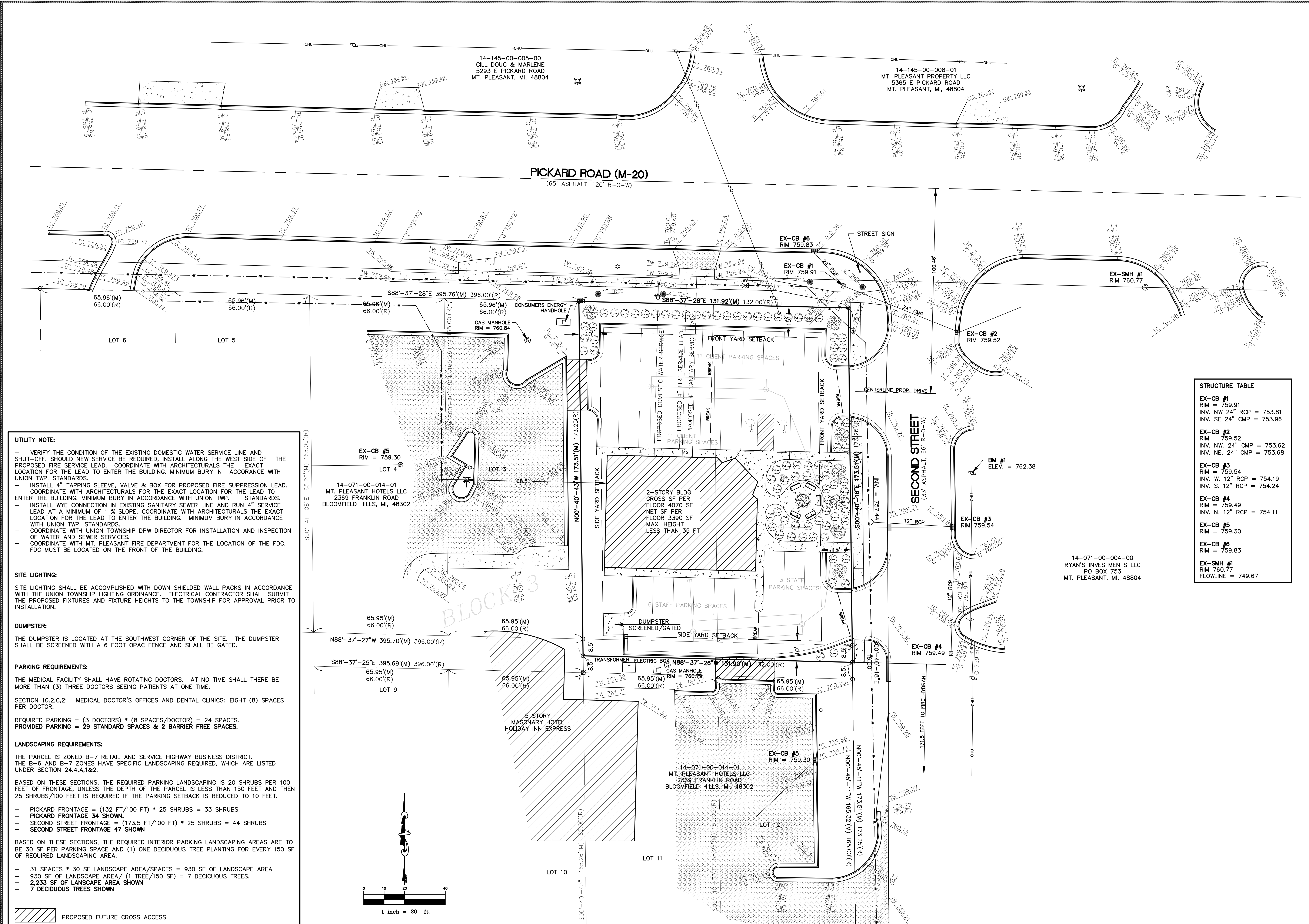
REVISIONS:

SUBMITTALS:  
 SUBMITTAL TO TWP. PLANNING 3-4-19

JOB NUMBER:	1804-023
DRAWN BY:	TELB
DESIGNED BY:	TELB
CHECKED BY:	TELB

SCALE  
 1" = 20'

SHEET NUMBER  
 3 of 8



**UTILITY NOTE:**

- VERIFY THE CONDITION OF THE EXISTING DOMESTIC WATER SERVICE LINE AND SHUT-OFF. SHOULD NEW SERVICE BE REQUIRED, INSTALL ALONG THE WEST SIDE OF THE PROPOSED FIRE SERVICE LEAD. COORDINATE WITH ARCHITECTURALS THE EXACT LOCATION FOR THE LEAD TO ENTER THE BUILDING. MINIMUM BURY IN ACCORDANCE WITH UNION TWP. STANDARDS.
- INSTALL 4" TAPPING SLEEVE, VALVE & BOX FOR PROPOSED FIRE SUPPRESSION LEAD. COORDINATE WITH ARCHITECTURALS FOR THE EXACT LOCATION FOR THE LEAD TO ENTER THE BUILDING. MINIMUM BURY IN ACCORDANCE WITH UNION TWP. STANDARDS.
- INSTALL WYE CONNECTION IN EXISTING SANITARY SEWER LINE AND RUN 4" SERVICE LEAD AT A MINIMUM OF 1% SLOPE. COORDINATE WITH ARCHITECTURALS THE EXACT LOCATION FOR THE LEAD TO ENTER THE BUILDING. MINIMUM BURY IN ACCORDANCE WITH UNION TWP. STANDARDS.
- COORDINATE WITH UNION TOWNSHIP DPW DIRECTOR FOR INSTALLATION AND INSPECTION OF WATER AND SEWER SERVICES.
- COORDINATE WITH MT. PLEASANT FIRE DEPARTMENT FOR THE LOCATION OF THE FDC. FDC MUST BE LOCATED ON THE FRONT OF THE BUILDING.

**SITE LIGHTING:**

SITE LIGHTING SHALL BE ACCOMPLISHED WITH DOWN SHIELDED WALL PACKS IN ACCORDANCE WITH THE UNION TOWNSHIP LIGHTING ORDINANCE. ELECTRICAL CONTRACTOR SHALL SUBMIT THE PROPOSED FIXTURES AND FIXTURE HEIGHTS TO THE TOWNSHIP FOR APPROVAL PRIOR TO INSTALLATION.

**DUMPSTER:**

THE DUMPSTER IS LOCATED AT THE SOUTHWEST CORNER OF THE SITE. THE DUMPSTER SHALL BE SCREENED WITH A 6 FOOT OPAC FENCE AND SHALL BE GATED.

**PARKING REQUIREMENTS:**

THE MEDICAL FACILITY SHALL HAVE ROTATING DOCTORS. AT NO TIME SHALL THERE BE MORE THAN (3) THREE DOCTORS SEEING PATIENTS AT ONE TIME.

SECTION 10.2.C.2: MEDICAL DOCTOR'S OFFICES AND DENTAL CLINICS: EIGHT (8) SPACES PER DOCTOR.

REQUIRED PARKING = (3 DOCTORS) \* (8 SPACES/DOCTOR) = 24 SPACES.  
 PROVIDED PARKING = 29 STANDARD SPACES & 2 BARRIER FREE SPACES.

**LANDSCAPING REQUIREMENTS:**

THE PARCEL IS ZONED B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT. THE B-6 AND B-7 ZONES HAVE SPECIFIC LANDSCAPING REQUIRED, WHICH ARE LISTED UNDER SECTION 24.4.A.1&2.

BASED ON THESE SECTIONS, THE REQUIRED PARKING LANDSCAPING IS 20 SHRUBS PER 100 FEET OF FRONTAGE, UNLESS THE DEPTH OF THE PARCEL IS LESS THAN 150 FEET AND THEN 25 SHRUBS/100 FEET IS REQUIRED IF THE PARKING SETBACK IS REDUCED TO 10 FEET.

- PICKARD FRONTAGE = (132 FT/100 FT) \* 25 SHRUBS = 33 SHRUBS.
- PICKARD FRONTAGE 34 SHOWN.
- SECOND STREET FRONTAGE = (173.5 FT/100 FT) \* 25 SHRUBS = 44 SHRUBS
- SECOND STREET FRONTAGE 47 SHOWN

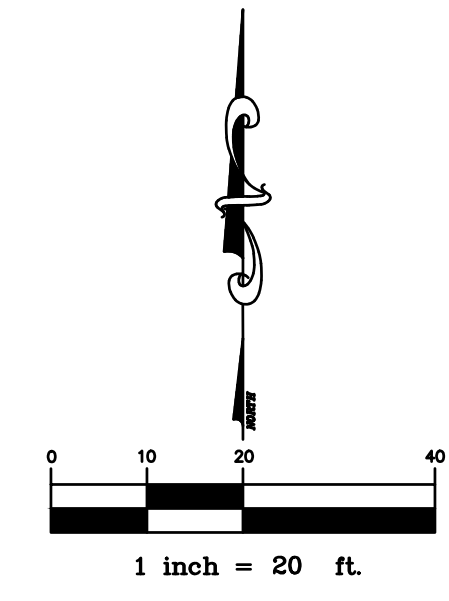
BASED ON THESE SECTIONS, THE REQUIRED INTERIOR PARKING LANDSCAPING AREAS ARE TO BE 30 SF PER PARKING SPACE AND (1) ONE DECIDUOUS TREE PLANTING FOR EVERY 150 SF OF REQUIRED LANDSCAPING AREA.

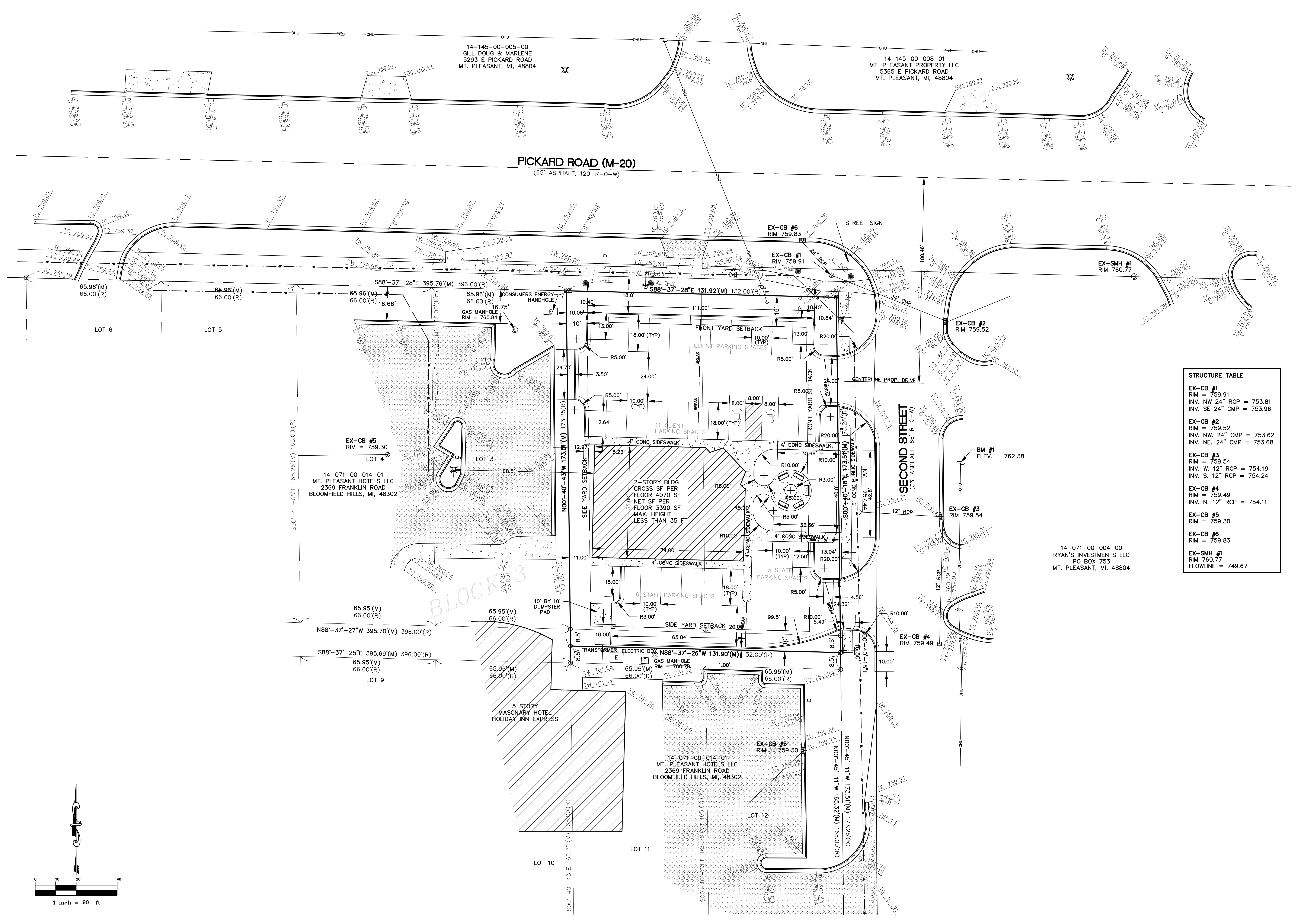
- 31 SPACES \* 30 SF LANDSCAPE AREA/SPACES = 930 SF OF LANDSCAPE AREA
- 930 SF OF LANDSCAPE AREA / (1 TREE/150 SF) = 7 DECIDUOUS TREES.
- 2,233 SF OF LANDSCAPE AREA SHOWN
- 7 DECIDUOUS TREES SHOWN

**PROPOSED FUTURE CROSS ACCESS**

**STRUCTURE TABLE**

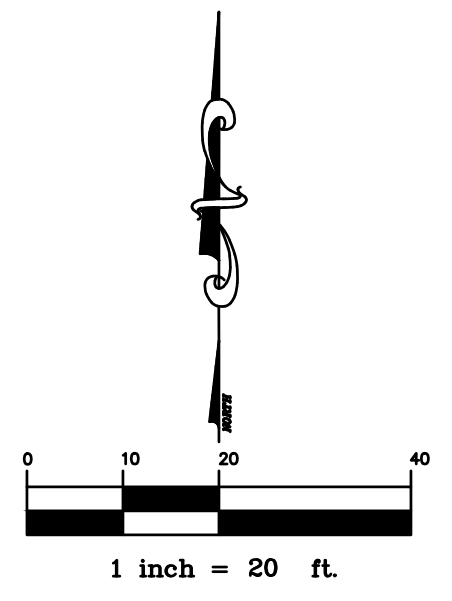
EX-CB #1	RIM = 759.91
	INV. NW 24" RCP = 753.81
	INV. SE 24" CMP = 753.96
EX-CB #2	RIM = 759.52
	INV. NW 24" CMP = 753.62
	INV. NE 24" CMP = 753.68
EX-CB #3	RIM = 759.54
	INV. W 12" RCP = 754.19
	INV. S 12" RCP = 754.24
EX-CB #4	RIM = 759.49
	INV. N 12" RCP = 754.11
EX-CB #5	RIM = 759.30
EX-CB #6	RIM = 759.83
EX-SMH #1	RIM 760.77
	FLOWLINE = 749.67





**STRUCTURE TABLE**

<b>EX-CB #1</b>	RIM = 759.91
	INV. NW 24" RCP = 753.81
	INV. SE 24" CMP = 753.96
<b>EX-CB #2</b>	RIM = 759.52
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	INV. N 12" RCP = 754.11
<b>EX-CB #5</b>	RIM = 759.30
<b>EX-CB #6</b>	RIM = 759.83
<b>EX-SMH #1</b>	RIM 760.77
	FLOWLINE = 749.67



**REVISIONS:**

<b>JOB NUMBER:</b>	1804-023
<b>SUBMITTALS:</b>	SUBMITTAL TO TWP. PLANNING 3-4-19
<b>SCALE:</b>	1" = 20'
<b>DRAWN BY:</b>	TELB
<b>DESIGNED BY:</b>	TELB
<b>CHECKED BY:</b>	TELB
<b>SHEET NUMBER:</b>	4 OF 8



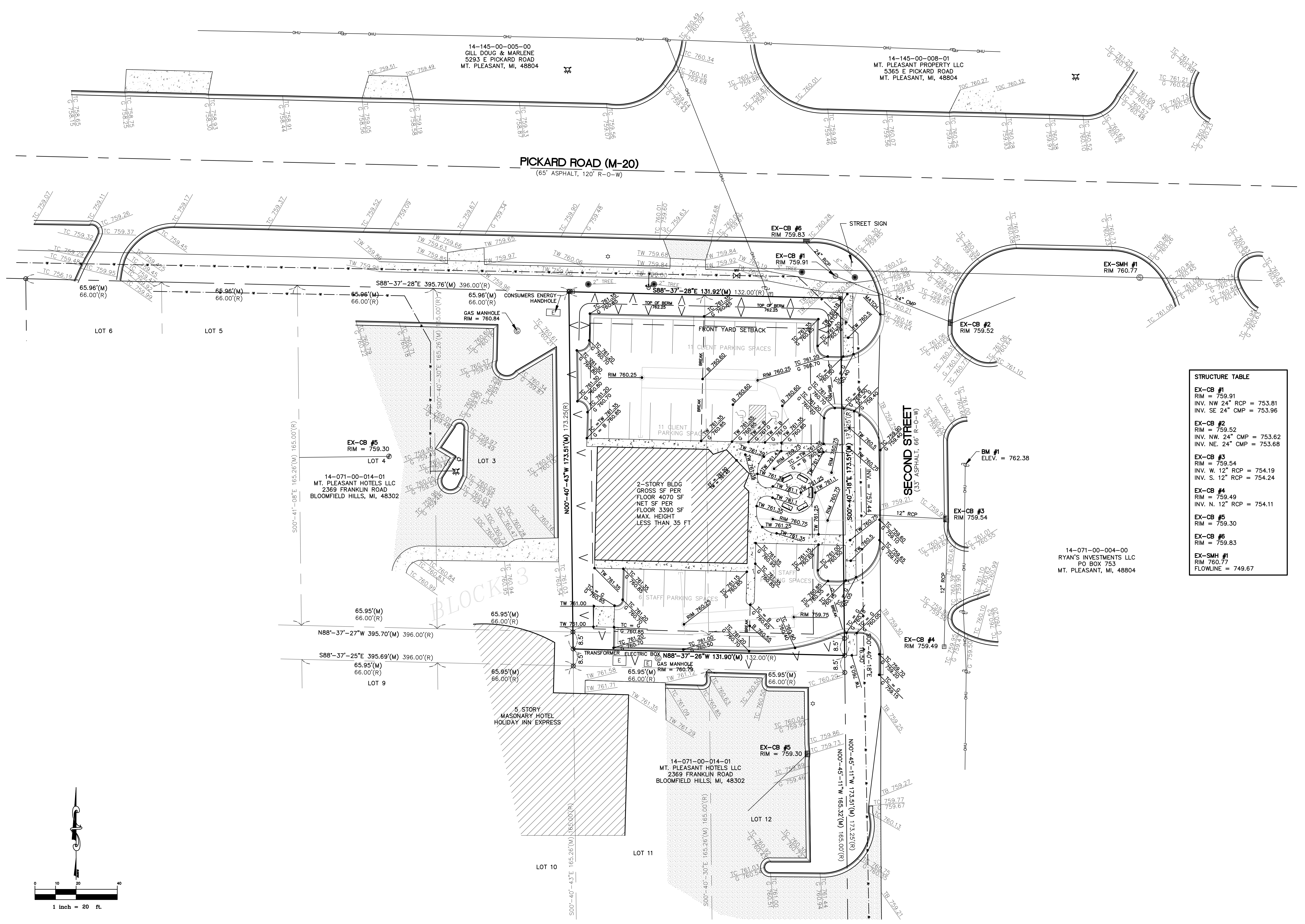
**GRADING PLAN**  
 DR. JOSEPH YACISEN, D.O.  
 SECTION 13, T14N-R4W  
 LOTS 1 AND 2, BLK 3 MAP OF GARDEN GROVE  
 CITY OF MT. PLEASANT, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
 SUBMITTAL TO TWP, PLANNING 3-4-19

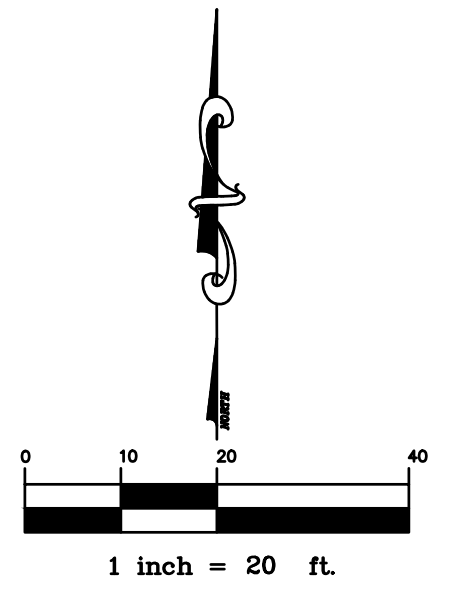
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 WRE  
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 CHECKED BY:  
 TELB

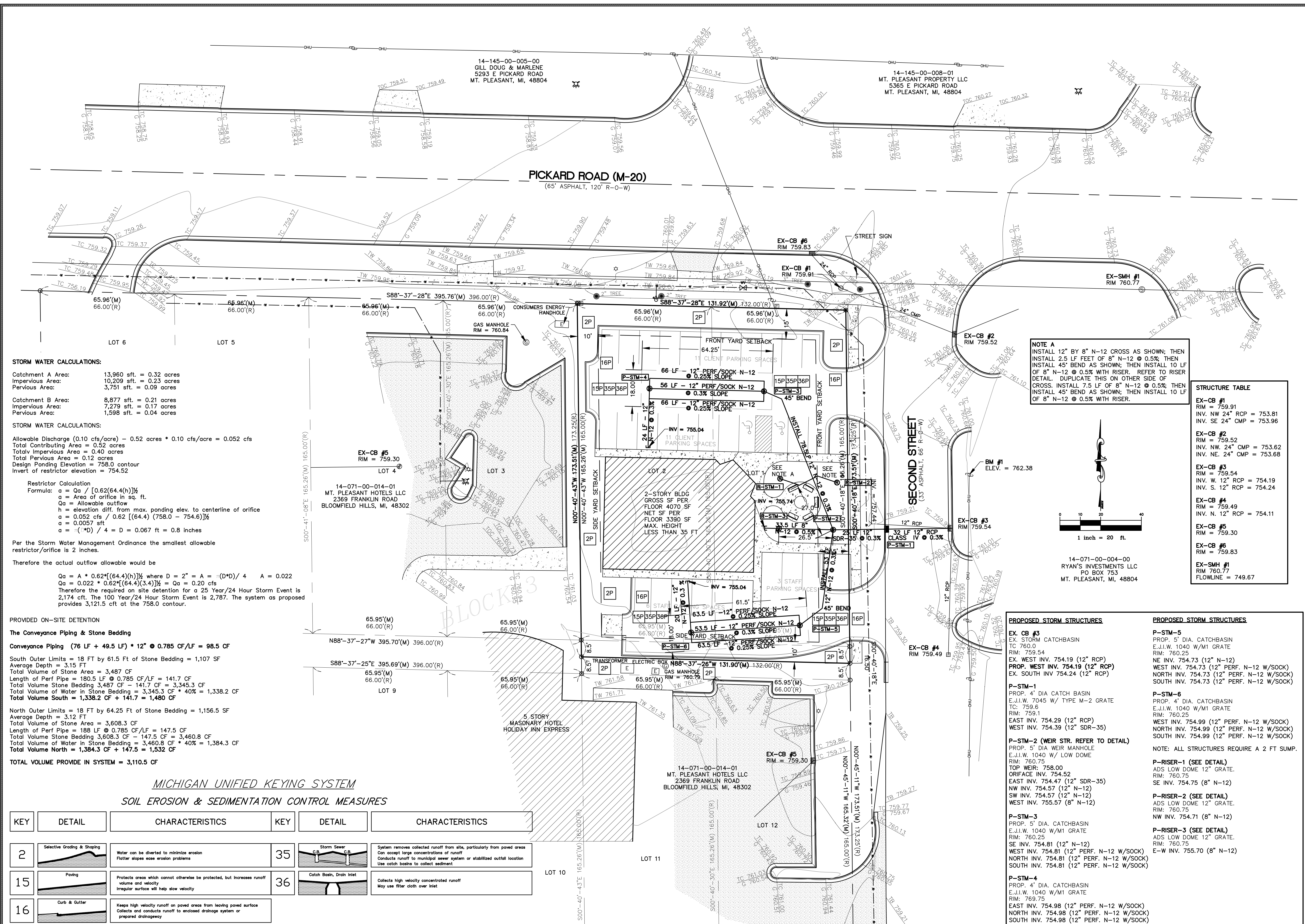
SCALE:  
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 SHEET NUMBER:  
 5 of 8



**STRUCTURE TABLE**

<b>EX-CB #1</b>	RIM = 759.91
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<b>EX-CB #2</b>	RIM = 759.52
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<b>EX-CB #6</b>	RIM = 759.83
<b>EX-SMH #1</b>	RIM 760.77
	FLOWLINE = 749.67





**STORM WATER CALCULATIONS:**  
 Catchment A Area: 13,960 sft. = 0.32 acres  
 Impervious Area: 10,209 sft. = 0.23 acres  
 Pervious Area: 3,751 sft. = 0.09 acres

Catchment B Area: 8,877 sft. = 0.21 acres  
 Impervious Area: 7,279 sft. = 0.17 acres  
 Pervious Area: 1,598 sft. = 0.04 acres

**STORM WATER CALCULATIONS:**

Allowable Discharge (0.10 cfs/acre) - 0.52 acres \* 0.10 cfs/acre = 0.052 cfs  
 Total Contributing Area = 0.52 acres  
 Total Impervious Area = 0.40 acres  
 Total Pervious Area = 0.12 acres  
 Design Ponding Elevation = 758.0 contour  
 Invert of restrictor elevation = 754.52

**Restrictor Calculation**  
 Formula:  $a = Qa / [0.62(64.4(h))^{1/2}]$   
 a = Area of orifice in sq. ft.  
 Qa = Allowable outflow  
 h = elevation diff. from max. ponding elev. to centerline of orifice  
 a = 0.052 cfs / 0.62 [(64.4)(758.0 - 754.6)]<sup>1/2</sup>  
 a = 0.0057 sft  
 a = (\*D) / 4 = D = 0.067 ft = 0.8 inches

Per the Storm Water Management Ordinance the smallest allowable restrictor/orifice is 2 inches.

Therefore the actual outflow would be

$Qa = A * 0.62 * [(64.4)(h)]^{1/2}$  where  $D = 2" = A = (D^2) / 4$  A = 0.022  
 $Qa = 0.022 * 0.62 * [(64.4)(3.4)]^{1/2} = Qa = 0.20$  cfs  
 Therefore the required on site detention for a 25 Year/24 Hour Storm Event is 2,174 cft. The 100 Year/24 Hour Storm Event is 2,787. The system as proposed provides 3,121.5 cft at the 758.0 contour.

**PROVIDED ON-SITE DETENTION**

**The Conveyance Piping & Stone Bedding**

Conveyance Piping (76 LF + 49.5 LF) \* 12" \* 0.785 CF/LF = 98.5 CF

South Outer Limits = 18 FT by 61.5 Ft of Stone Bedding = 1,107 SF  
 Average Depth = 3.15 FT  
 Total Volume of Stone Area = 3,487 CF  
 Length of Perf Pipe = 180.5 LF @ 0.785 CF/LF = 141.7 CF  
 Total Volume Stone Bedding 3,487 CF - 141.7 CF = 3,345.3 CF  
 Total Volume of Water in Stone Bedding = 3,345.3 CF \* 40% = 1,338.2 CF  
 Total Volume South = 1,338.2 CF + 141.7 CF = 1,480 CF

North Outer Limits = 18 FT by 64.25 Ft of Stone Bedding = 1,156.5 SF  
 Average Depth = 3.12 FT  
 Total Volume of Stone Area = 3,608.3 CF  
 Length of Perf Pipe = 188 LF @ 0.785 CF/LF = 147.5 CF  
 Total Volume Stone Bedding 3,608.3 CF - 147.5 CF = 3,460.8 CF  
 Total Volume of Water in Stone Bedding = 3,460.8 CF \* 40% = 1,384.3 CF  
 Total Volume North = 1,384.3 CF + 147.5 CF = 1,532 CF

TOTAL VOLUME PROVIDE IN SYSTEM = 3,110.5 CF

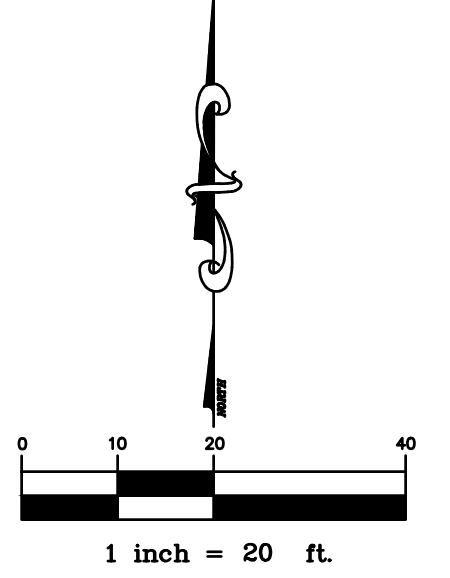
**MICHIGAN UNIFIED KEYING SYSTEM**  
**SOIL EROSION & SEDIMENTATION CONTROL MEASURES**

KEY	DETAIL	CHARACTERISTICS	KEY	DETAIL	CHARACTERISTICS
2	Selective Grading & Shaping	Water can be diverted to minimize erosion Flatter slopes ease erosion problems	35	Storm Sewer	System removes collected runoff from site, particularly from paved areas Can accept large concentrations of runoff Conducts runoff to municipal sewer system or stabilized outfall location Use catch basins to collect sediment
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity Irregular surface will help slow velocity	36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff May use filter cloth over inlet
16	Curb & Outter	Keeps high velocity runoff on paved areas from leaving paved surface Collects and conducts runoff to enclosed drainage system or prepared driveway			

**NOTE A**  
 INSTALL 12" BY 8" N-12 CROSS AS SHOWN; THEN  
 INSTALL 2.5 LF FEET OF 8" N-12 @ 0.5%; THEN  
 INSTALL 45" BEND AS SHOWN; THEN INSTALL 10 LF  
 OF 8" N-12 @ 0.5% WITH RISER. REFER TO RISER  
 DETAIL. DUPLICATE THIS ON OTHER SIDE OF  
 CROSS. INSTALL 7.5 LF OF 8" N-12 @ 0.5%; THEN  
 INSTALL 45" BEND AS SHOWN; THEN INSTALL 10 LF  
 OF 8" N-12 @ 0.5% WITH RISER.

**STRUCTURE TABLE**

<b>EX-CB #1</b>	RIM = 759.91 INV. NW 24" RCP = 753.81 INV. SE 24" CMP = 753.96
<b>EX-CB #2</b>	RIM = 759.52 INV. NW 24" CMP = 753.62 INV. NE 24" CMP = 753.68
<b>EX-CB #3</b>	RIM = 759.54 INV. W 12" RCP = 754.19 INV. S 12" RCP = 754.24
<b>EX-CB #4</b>	RIM = 759.49 INV. N 12" RCP = 754.11
<b>EX-CB #5</b>	RIM = 759.30
<b>EX-CB #6</b>	RIM = 759.83
<b>EX-SMH #1</b>	RIM 760.77 FLOWLINE = 749.67



**PROPOSED STORM STRUCTURES**

**EX-CB #3**  
 EX. STORM CATCHBASIN  
 E.J.I.W. 7045 W/ TYPE M-2 GRATE  
 RIM: 759.54  
 EX. WEST INV. 754.19 (12" RCP)  
**PROP. WEST INV. 754.19 (12" RCP)**  
 EX. SOUTH INV. 754.24 (12" RCP)

**P-STM-1**  
 PROP. 4' DIA CATCH BASIN  
 E.J.I.W. 7045 W/ TYPE M-2 GRATE  
 TC: 759.6  
 RIM: 759.1  
 EAST INV. 754.29 (12" RCP)  
 WEST INV. 754.39 (12" SDR-35)

**P-STM-2 (WEIR STR. REFER TO DETAIL)**  
 PROP. 5' DIA WEIR MANHOLE  
 E.J.I.W. 1040 W/ LOW DOME  
 RIM: 760.75  
 TOP WEIR: 758.00  
 ORIFACE INV. 754.52  
 EAST INV. 754.47 (12" SDR-35)  
 NW INV. 754.57 (12" N-12)  
 SW INV. 754.57 (12" N-12)  
 WEST INV. 755.57 (8" N-12)

**P-STM-3**  
 PROP. 5' DIA. CATCHBASIN  
 E.J.I.W. 1040 W/M1 GRATE  
 RIM: 760.25  
 SE INV. 754.81 (12" N-12)  
 WEST INV. 754.81 (12" PERF. N-12 W/SOCK)  
 NORTH INV. 754.81 (12" PERF. N-12 W/SOCK)  
 SOUTH INV. 754.81 (12" PERF. N-12 W/SOCK)

**P-STM-4**  
 PROP. 4' DIA. CATCHBASIN  
 E.J.I.W. 1040 W/M1 GRATE  
 RIM: 769.75  
 EAST INV. 754.98 (12" PERF. N-12 W/SOCK)  
 NORTH INV. 754.98 (12" PERF. N-12 W/SOCK)  
 SOUTH INV. 754.98 (12" PERF. N-12 W/SOCK)

**PROPOSED STORM STRUCTURES**

**P-STM-5**  
 PROP. 5' DIA. CATCHBASIN  
 E.J.I.W. 1040 W/M1 GRATE  
 RIM: 760.25  
 NE INV. 754.73 (12" N-12)  
 WEST INV. 754.73 (12" PERF. N-12 W/SOCK)  
 NORTH INV. 754.73 (12" PERF. N-12 W/SOCK)  
 SOUTH INV. 754.73 (12" PERF. N-12 W/SOCK)

**P-STM-6**  
 PROP. 4' DIA. CATCHBASIN  
 E.J.I.W. 1040 W/M1 GRATE  
 RIM: 760.25  
 WEST INV. 754.99 (12" PERF. N-12 W/SOCK)  
 NORTH INV. 754.99 (12" PERF. N-12 W/SOCK)  
 SOUTH INV. 754.99 (12" PERF. N-12 W/SOCK)

NOTE: ALL STRUCTURES REQUIRE A 2 FT SUMP.

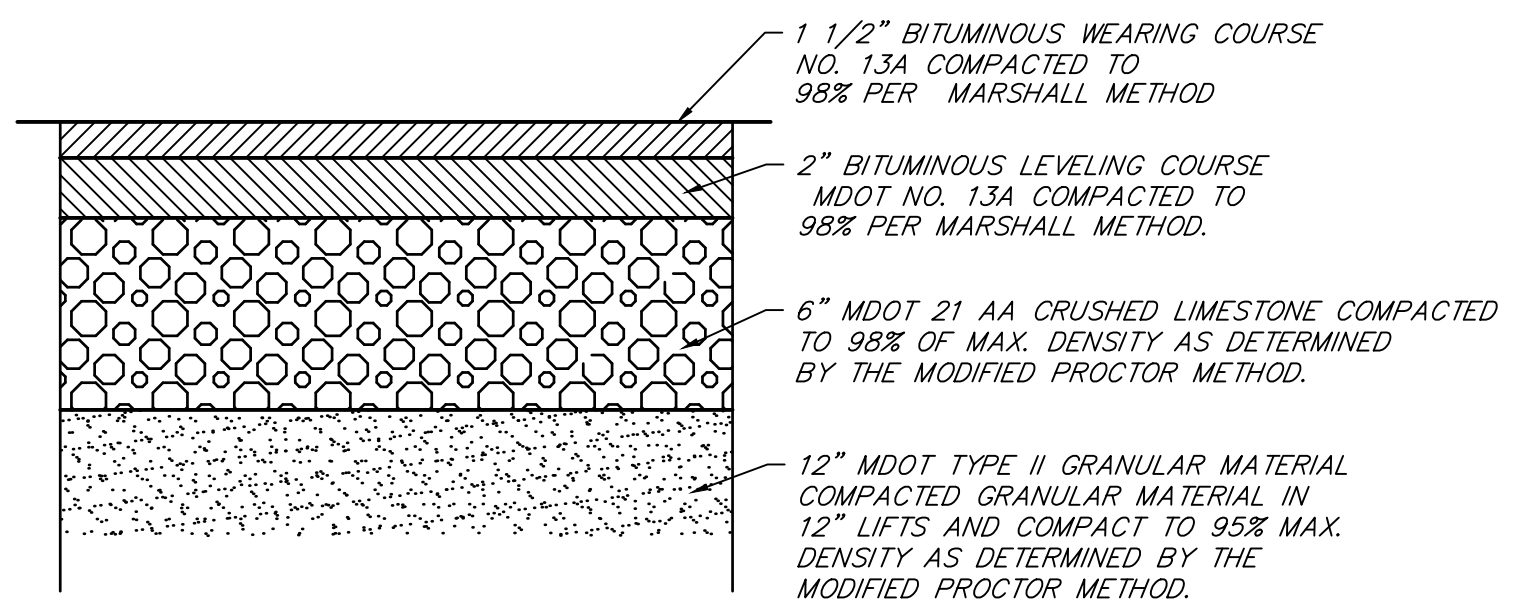
**P-RISER-1 (SEE DETAIL)**  
 ADS LOW DOME 12" GRATE.  
 RIM: 760.75  
 SE INV. 754.75 (8" N-12)

**P-RISER-2 (SEE DETAIL)**  
 ADS LOW DOME 12" GRATE.  
 RIM: 760.75  
 NW INV. 754.71 (8" N-12)

**P-RISER-3 (SEE DETAIL)**  
 ADS LOW DOME 12" GRATE.  
 RIM: 760.75  
 E-W INV. 755.70 (8" N-12)

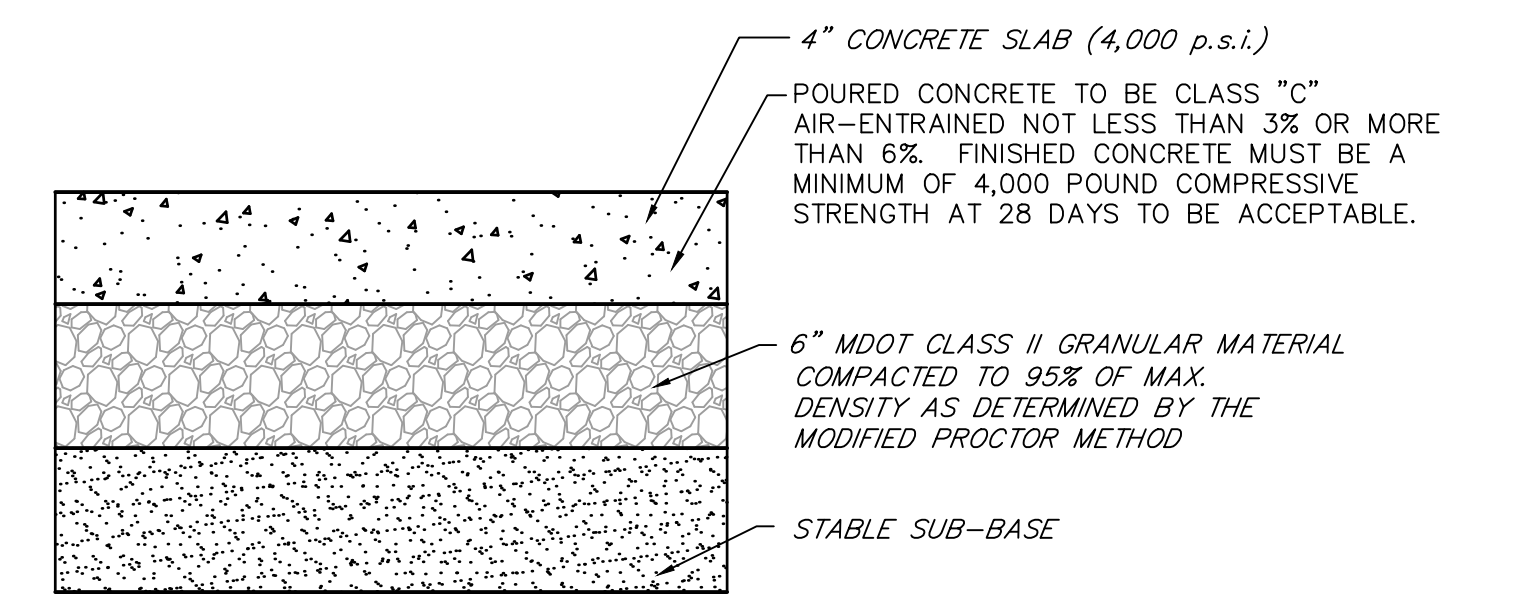
REVISIONS:

JOB NUMBER:	1804-023
SCALE:	N/A
SUBMITTAL TO TWP. PLANNING:	3-4-19
DRAWN BY:	WRE
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER:	6 OF 8

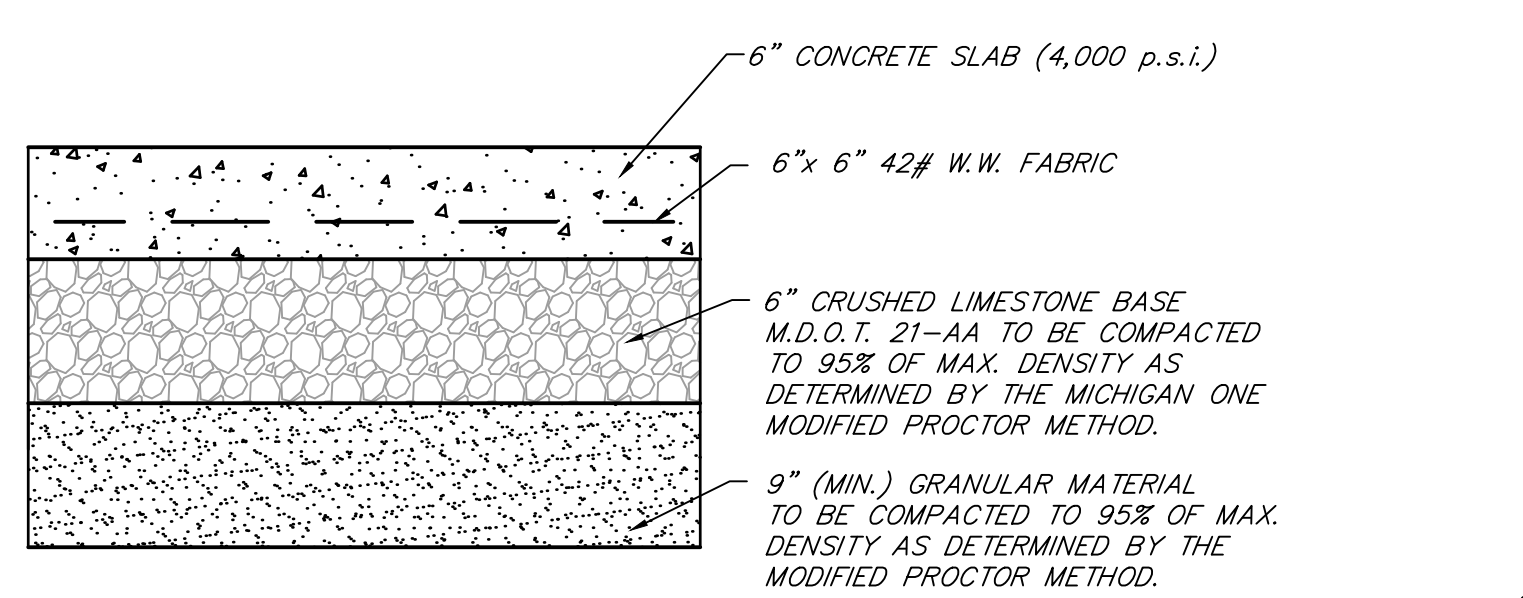


NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.

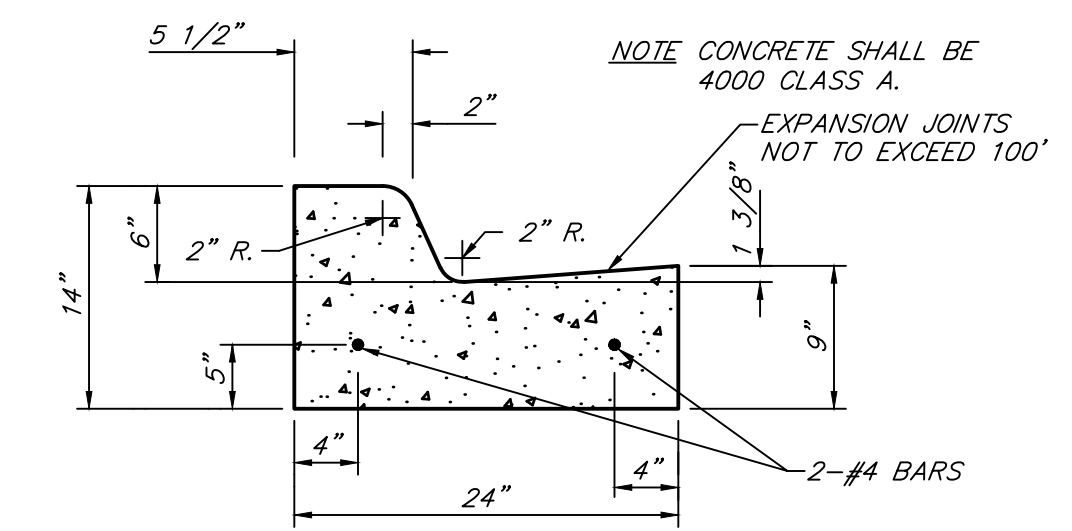
PARKING LOT ASPHALT PAVEMENT CROSS-SECTION  
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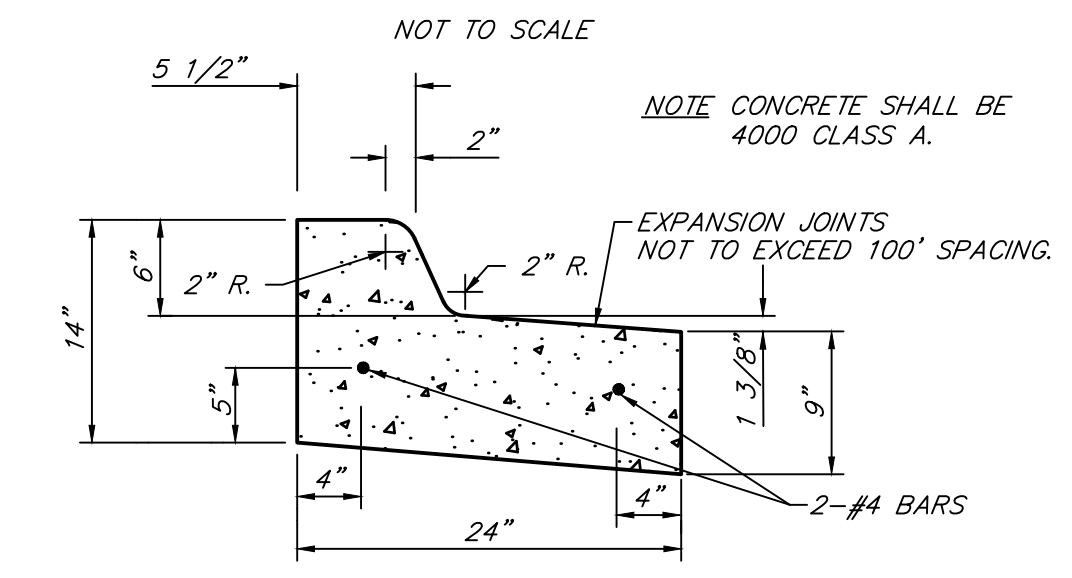
CONCRETE SIDEWALK CROSS-SECTION  
NOT TO SCALE



CONCRETE PAD CROSS-SECTION  
DRIVEWAY & SIDEWALK CROSSING  
NOT TO SCALE

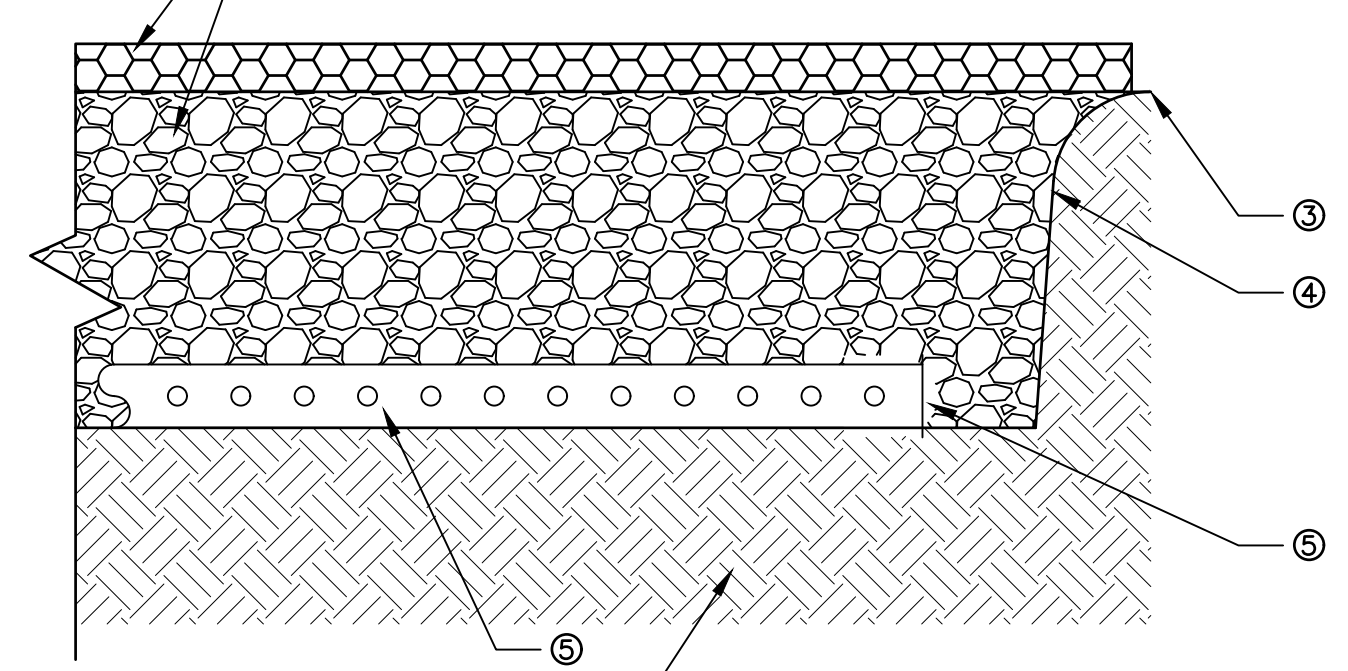


F4 CONCRETE CURB AND GUTTER DETAIL  
REGULAR PAN  
NOT TO SCALE

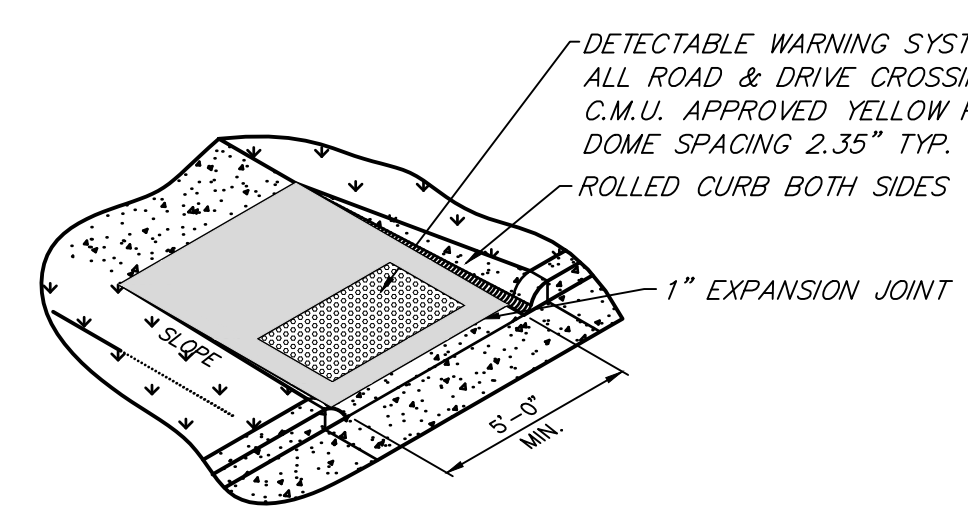


F4 CONCRETE CURB AND GUTTER DETAIL  
REVERSE PAN  
NOT TO SCALE

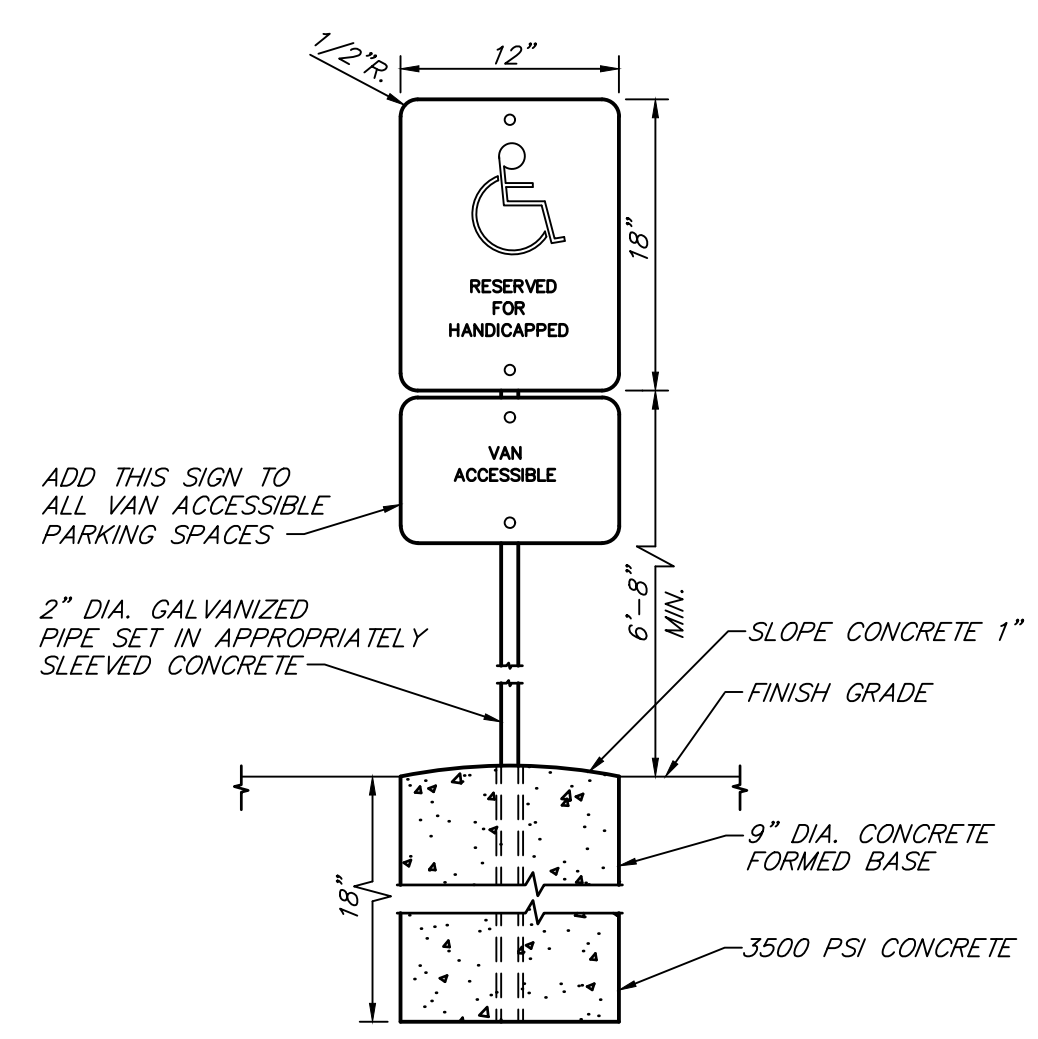
- ASPHALT AND AGGREGATE PAVING SURFACE (REFER TO DETAIL)
- RESERVOIR COURSE - VARYING DEPTH (MIN. 3.75') OF 3/4" (MIN) TO 2" CLEAN WASHED STONE (MIN. 90% CRUSHED)
- STABILIZATION FABRIC IS REQUIRED BETWEEN PAVEMENT CROSS SECTION AND RESERVOIR COURSE. (REFER TO PAVING DETAIL)
- WOVEN GEOTEXTILE STABILIZATION FABRIC
- 12" PERFORATED W/SOCK UNDERDRAIN WHERE INDICATED ON PLANS. SLOPE AS SHOWN ON PLAN.
- SUBGRADE - SHAPE SUBGRADE TO SAME SLOPES AS SHOWN ON GRADING AND DRAINAGE PLAN.



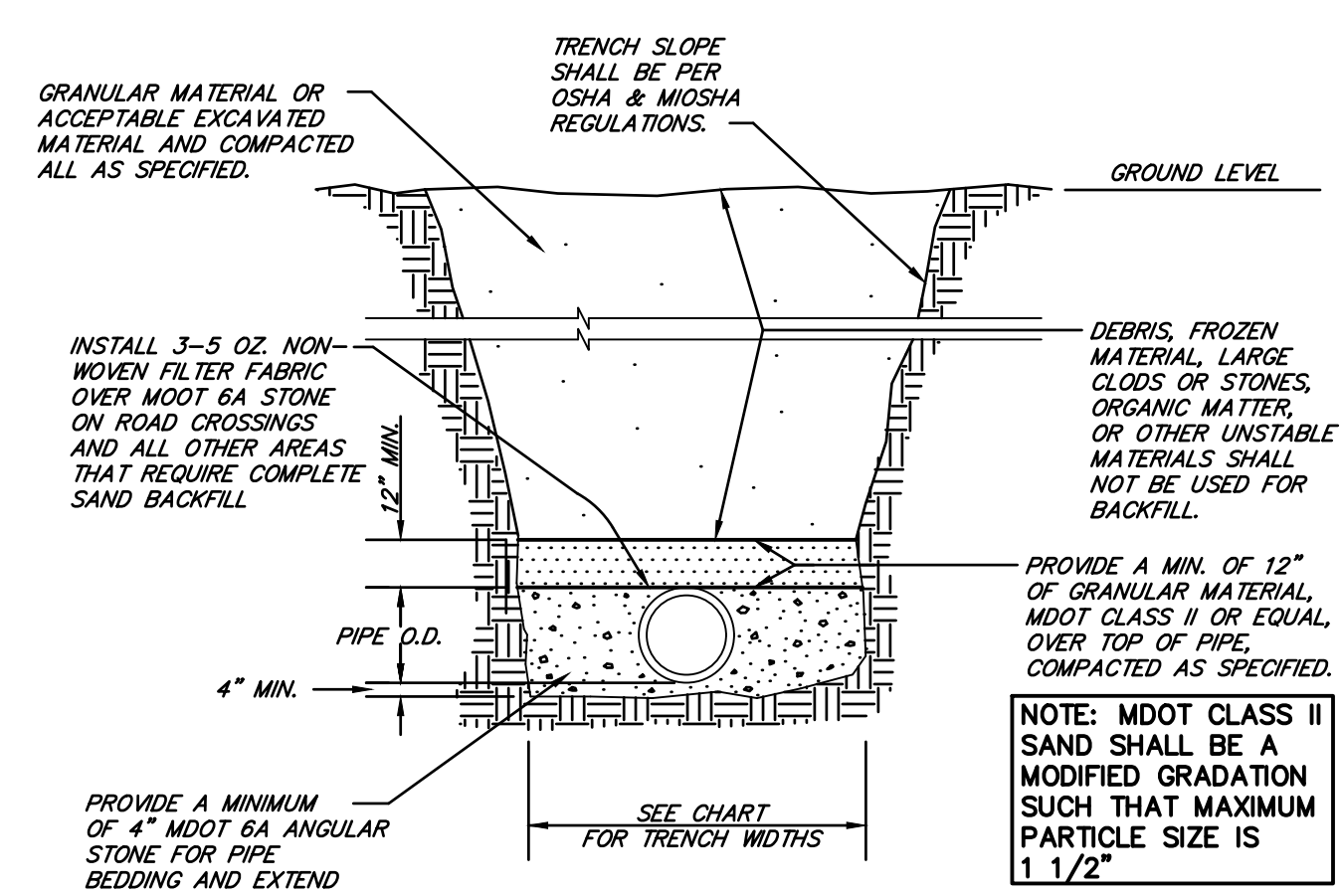
INFILTRATION AREA CROSS-SECTION  
NOT TO SCALE



SIDEWALK RAMP - MDOT TYPE I R-28  
NOT TO SCALE



TYP. BARRIER FREE PARKING SIGN  
NOT TO SCALE



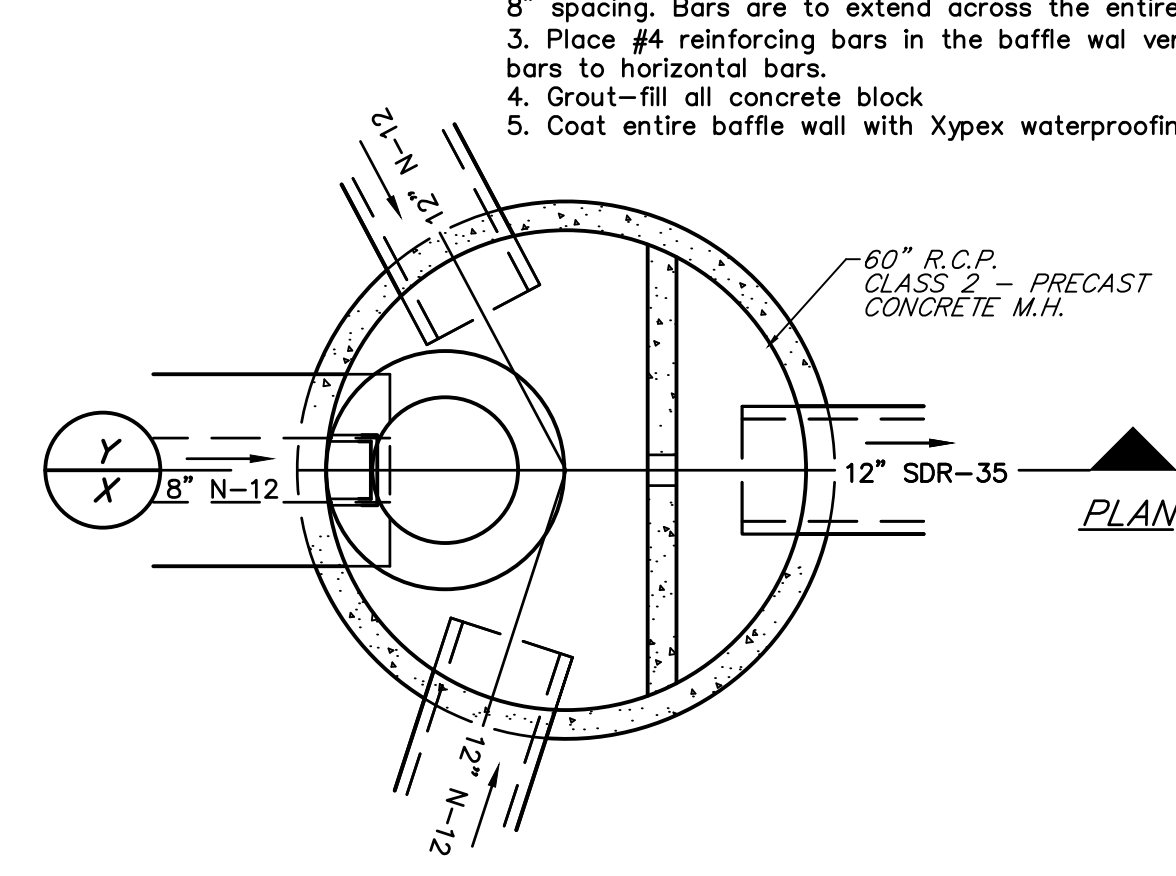
P.V.C. PIPE TRENCH DETAIL  
NOT TO SCALE

TRENCH WIDTH CHART

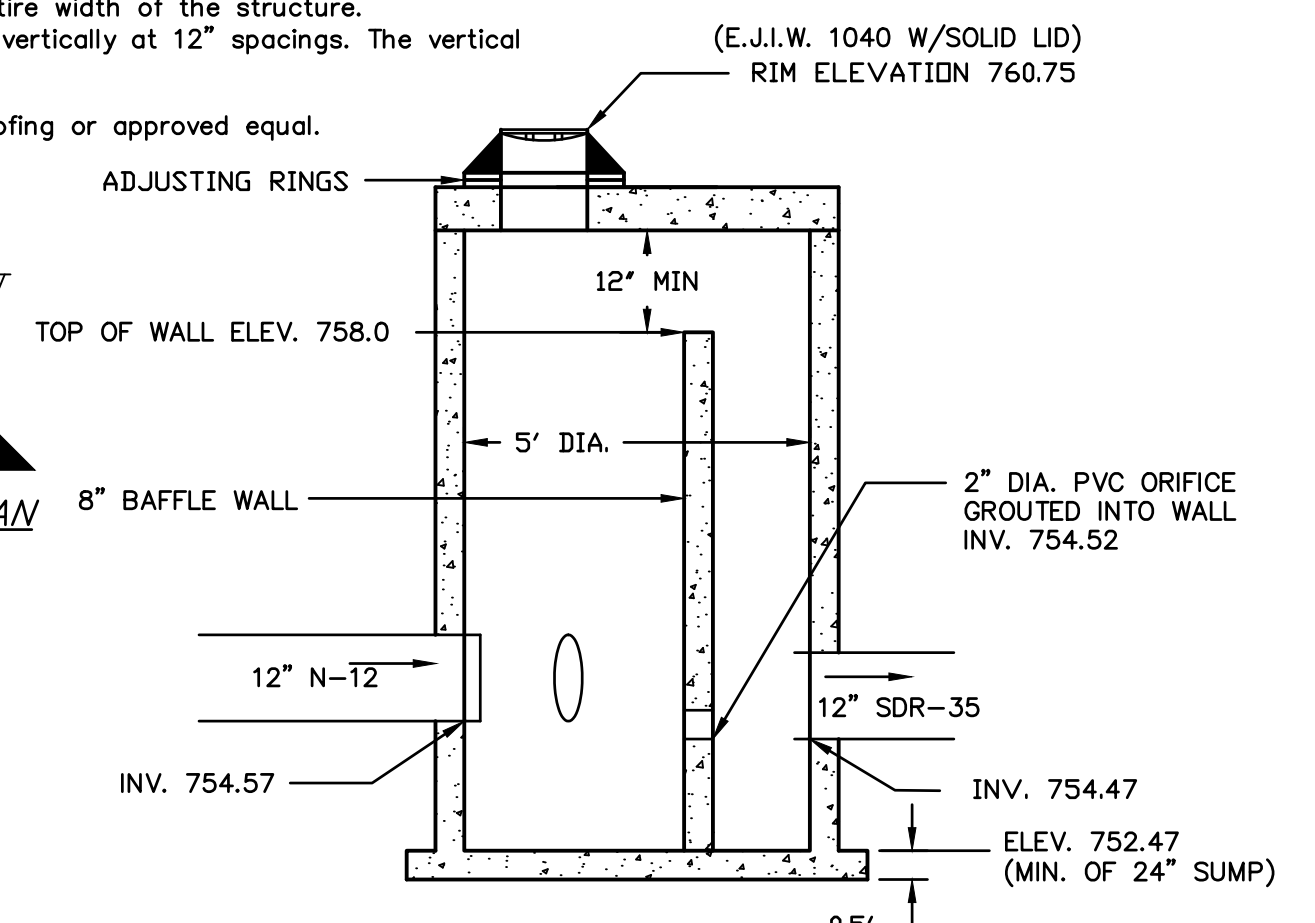
PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	36"	42"
21"	38"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	56"	60"
LARGER THAN 36"	I.D. +20"	I.D. +24"

BAFFLE WALL CONSTRUCTION NOTES

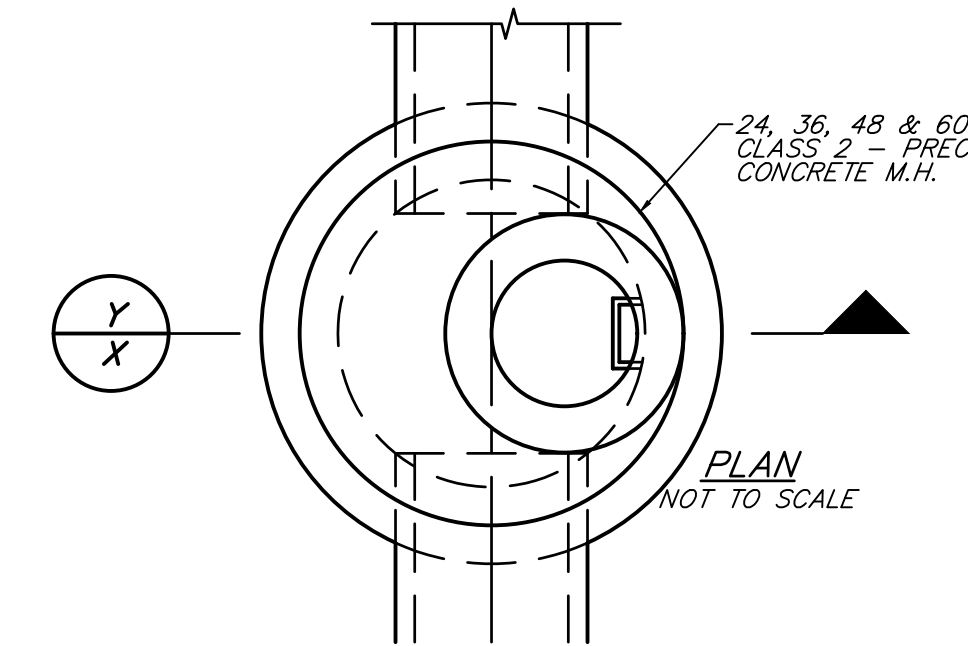
- Baffle wall to be constructed of 8" concrete block with smooth-raked joints.
- Epoxy #4 reinforcing bars into the sidewalls and base of the precast structure at 8" spacing. Bars are to extend across the entire width of the structure.
- Place #4 reinforcing bars in the baffle wall vertically at 12" spacings. The vertical bars to horizontal bars.
- Grout-fill all concrete block
- Coat entire baffle wall with Xypex waterproofing or approved equal.



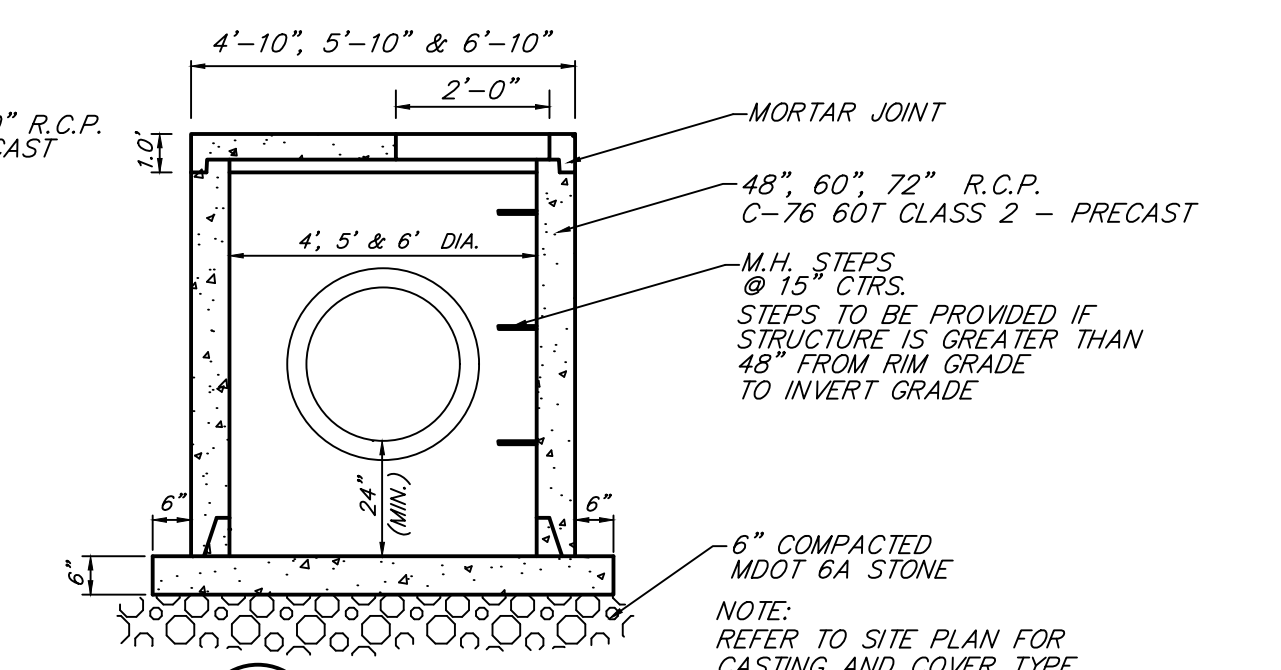
5' DIA. STORM WATER OVERFLOW STRUCTURE  
NOT TO SCALE



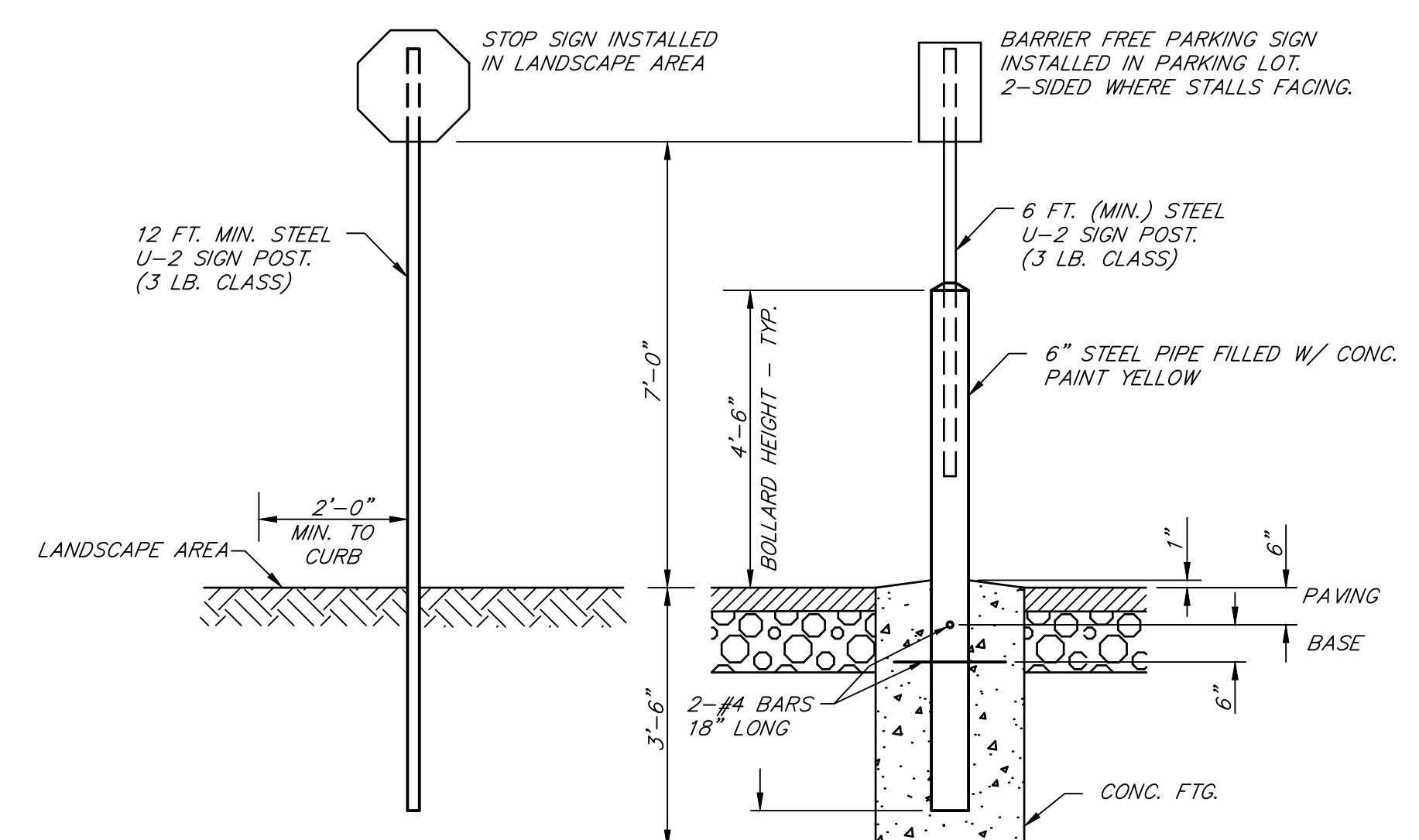
5' DIA. STORM WATER OVERFLOW STRUCTURE  
NOT TO SCALE



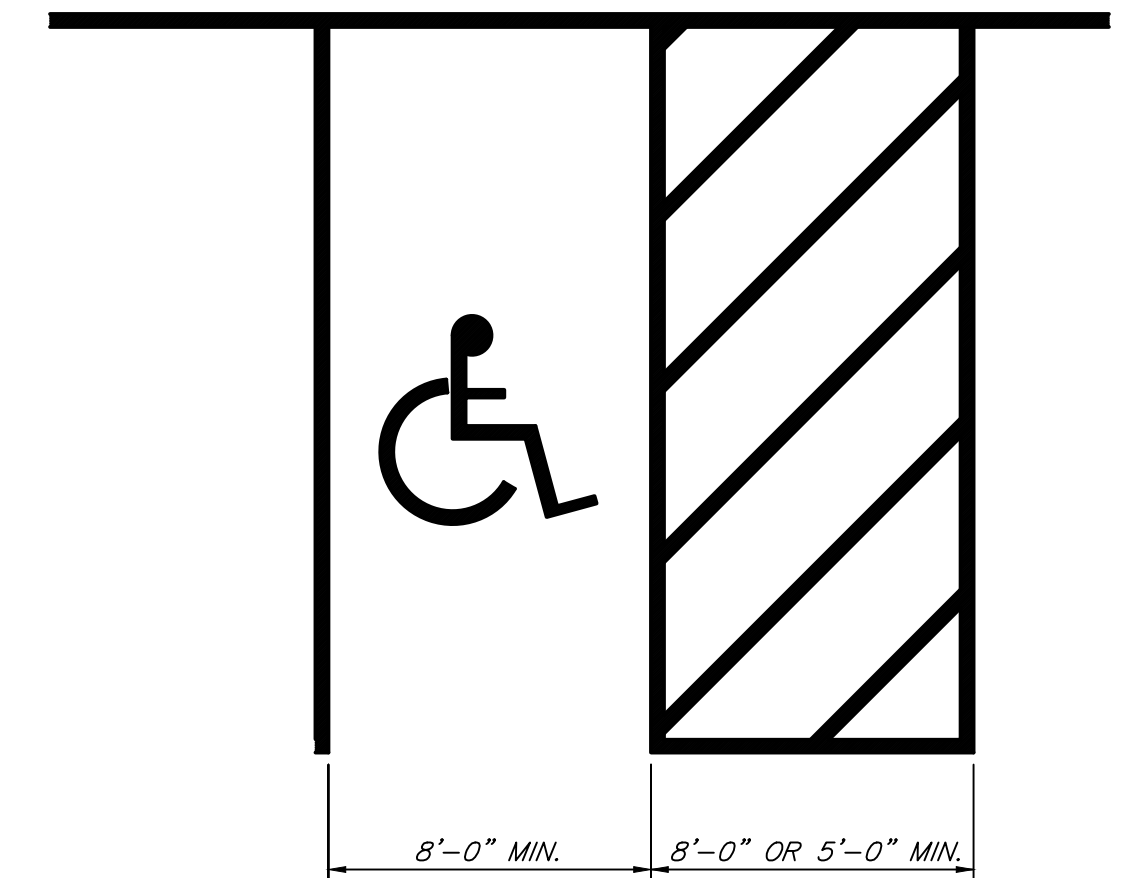
4', 5' & 6' DIA. COMBINATION M.H. - C.B.  
NOT TO SCALE



4', 5' & 6' DIA. COMBINATION M.H. - C.B.  
NOT TO SCALE



PARKING LOT SIGN POST DETAILS  
NOT TO SCALE



BARRIER FREE PARKING SPACES  
NOT TO SCALE



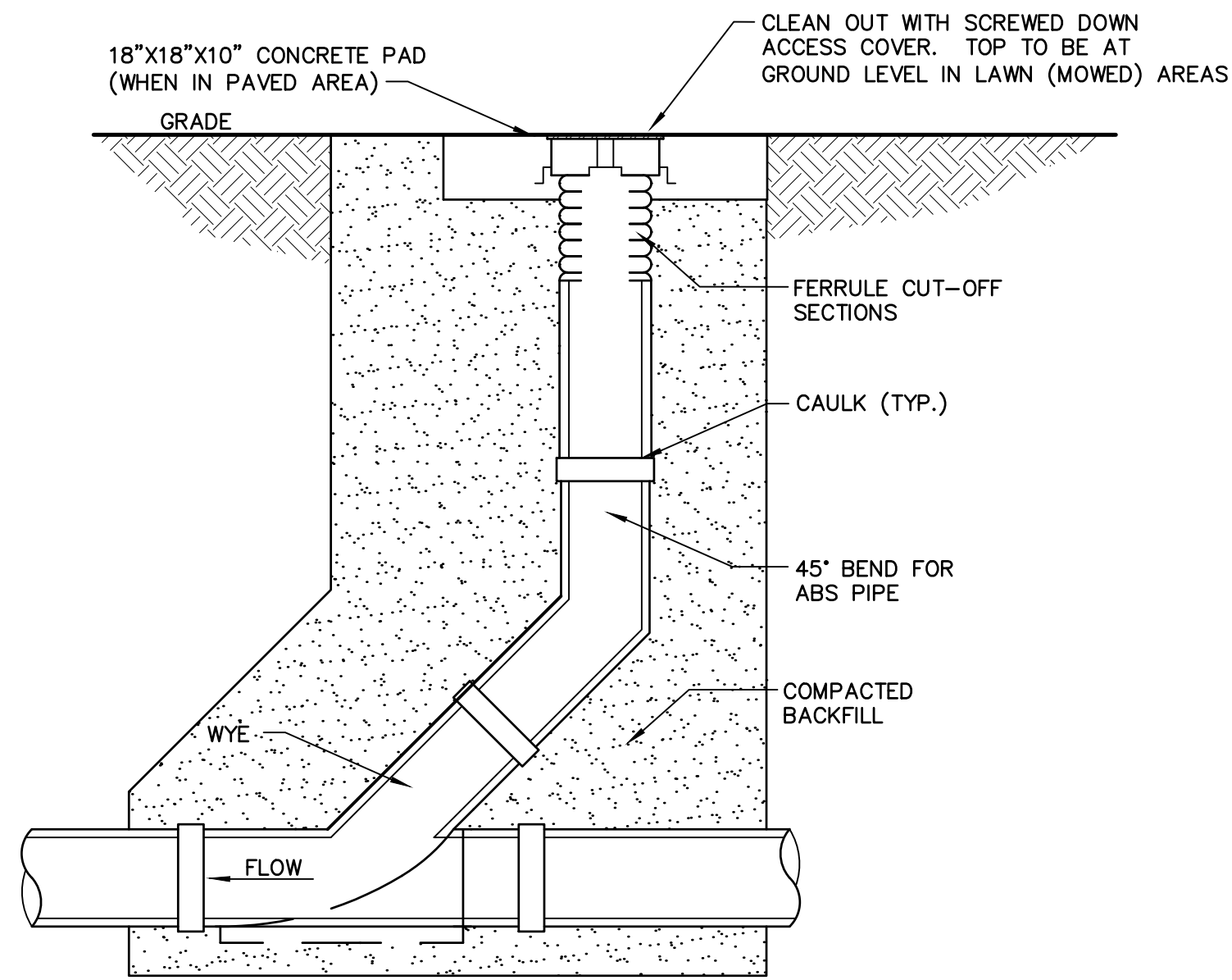
DR. JOSEPH YACISEN, D.O.  
SECTION 13 T14N-R4W  
LOTS 1 AND 2, BLK 3 MAP OF GARDEN GROVE  
CITY OF MT. PLEASANT, ISABELLA COUNTY, MICHIGAN

DETAIL SHEET 1

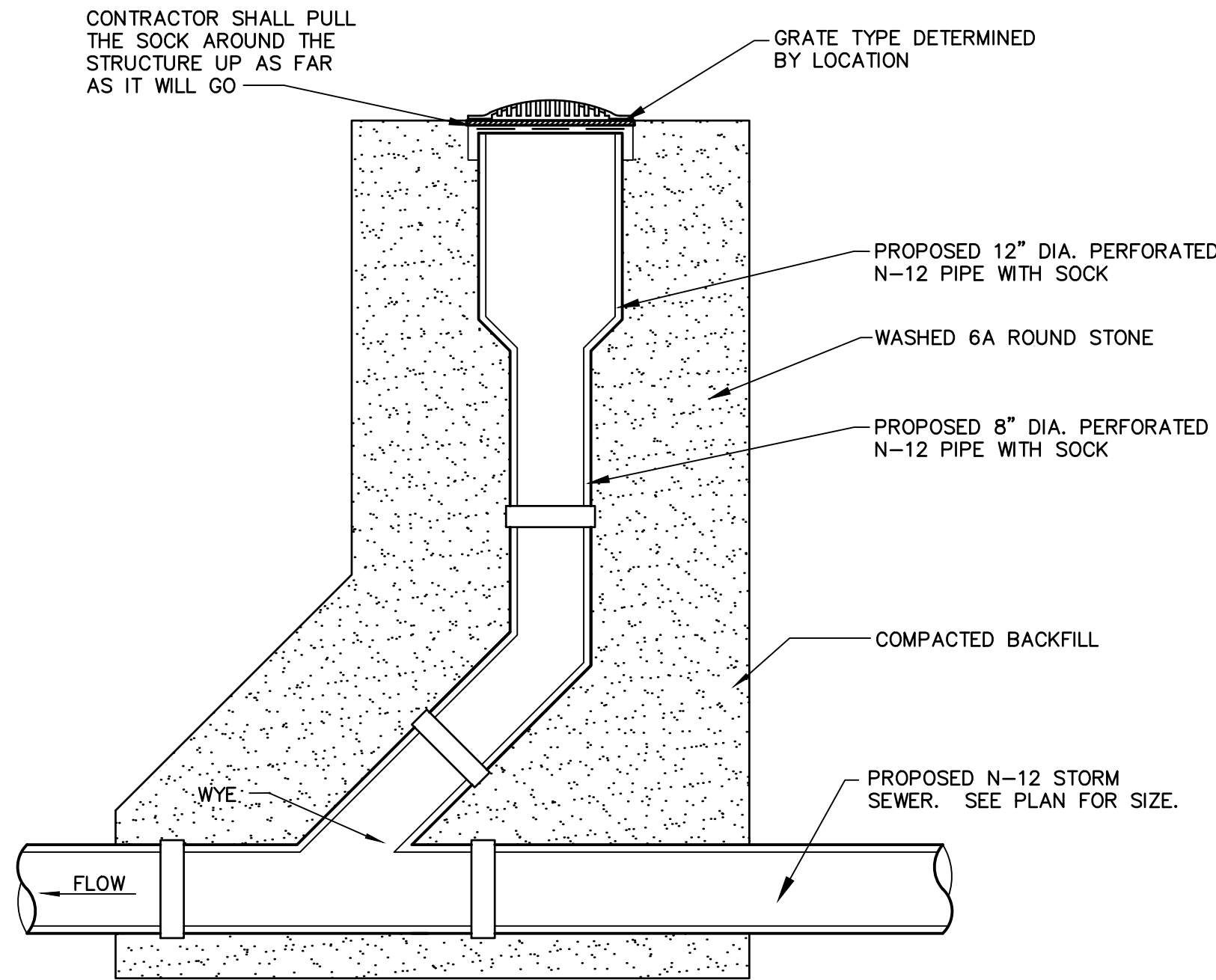
REVISIONS:

SUBMITTAL TO TWP. PLANNING 3-4-19
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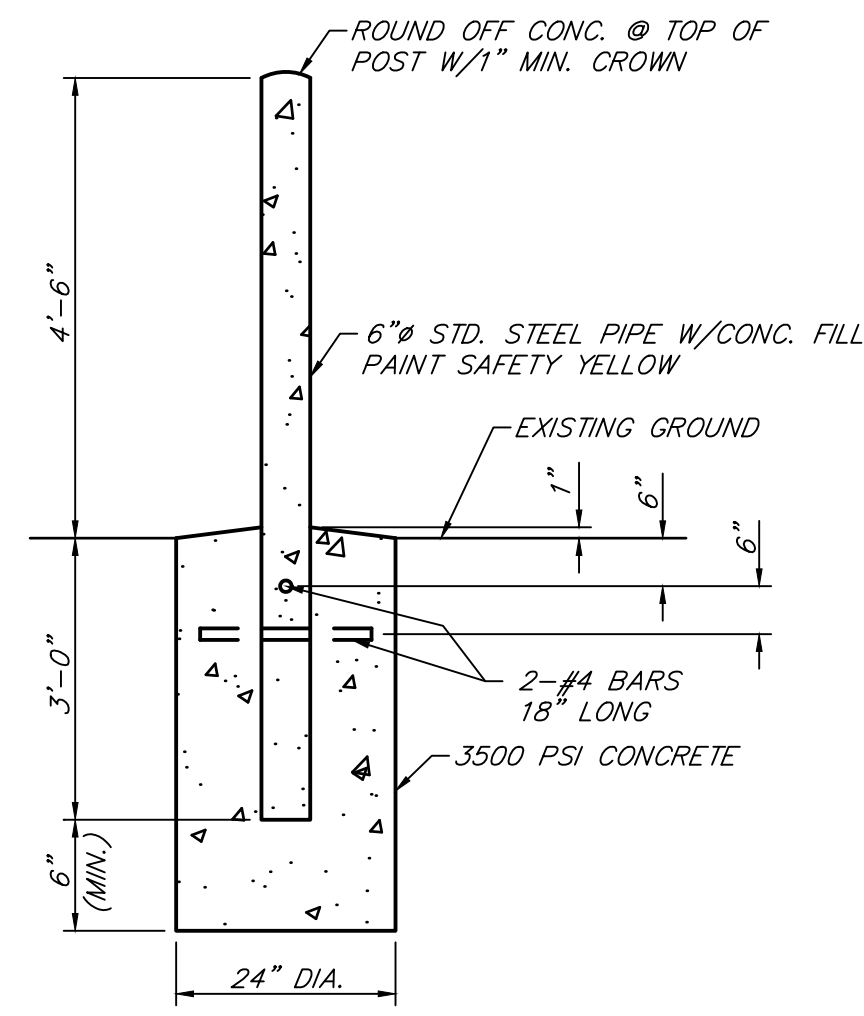
JOB NUMBER: 1804-023	SCALE: N/A
DRAWN BY: WRE	SHEET NUMBER: 7 OF 8
DESIGNED BY: TELB	CHECKED BY: TELB



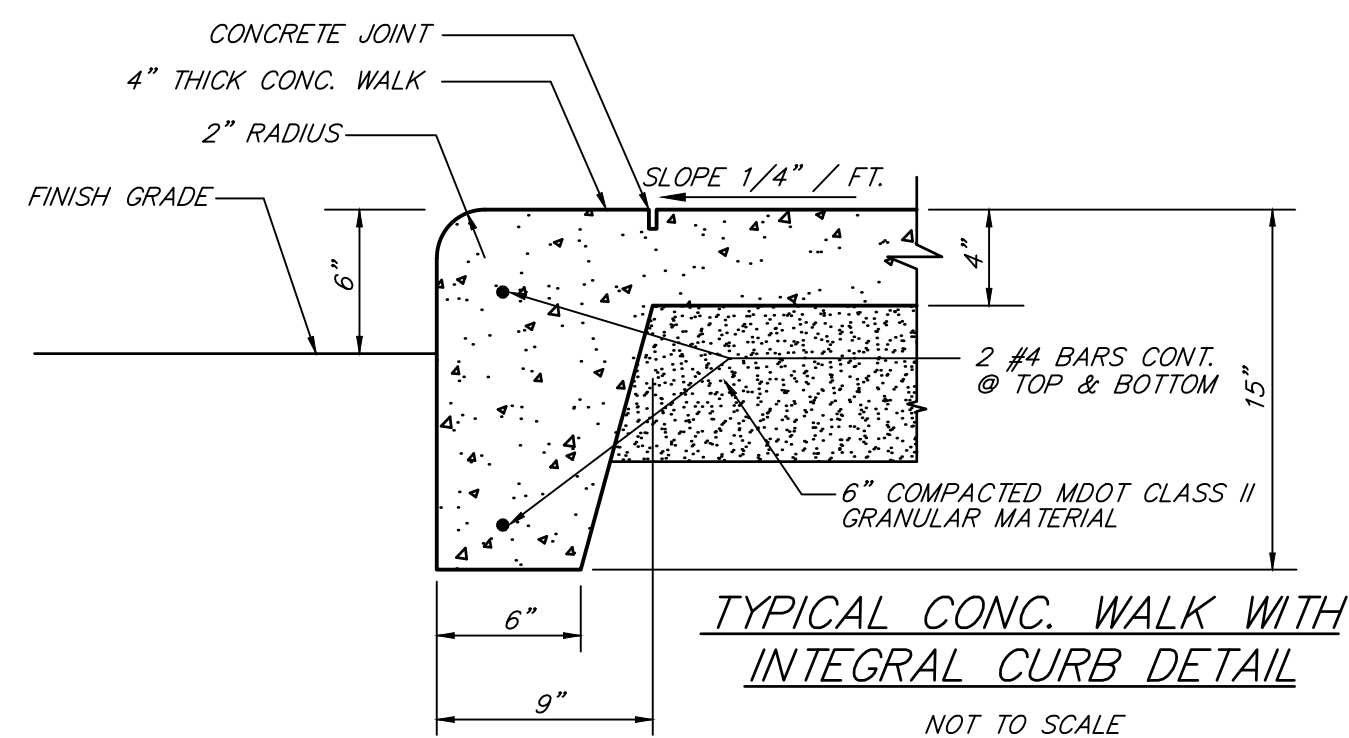
**CLEAN OUT DETAIL**  
NOT TO SCALE



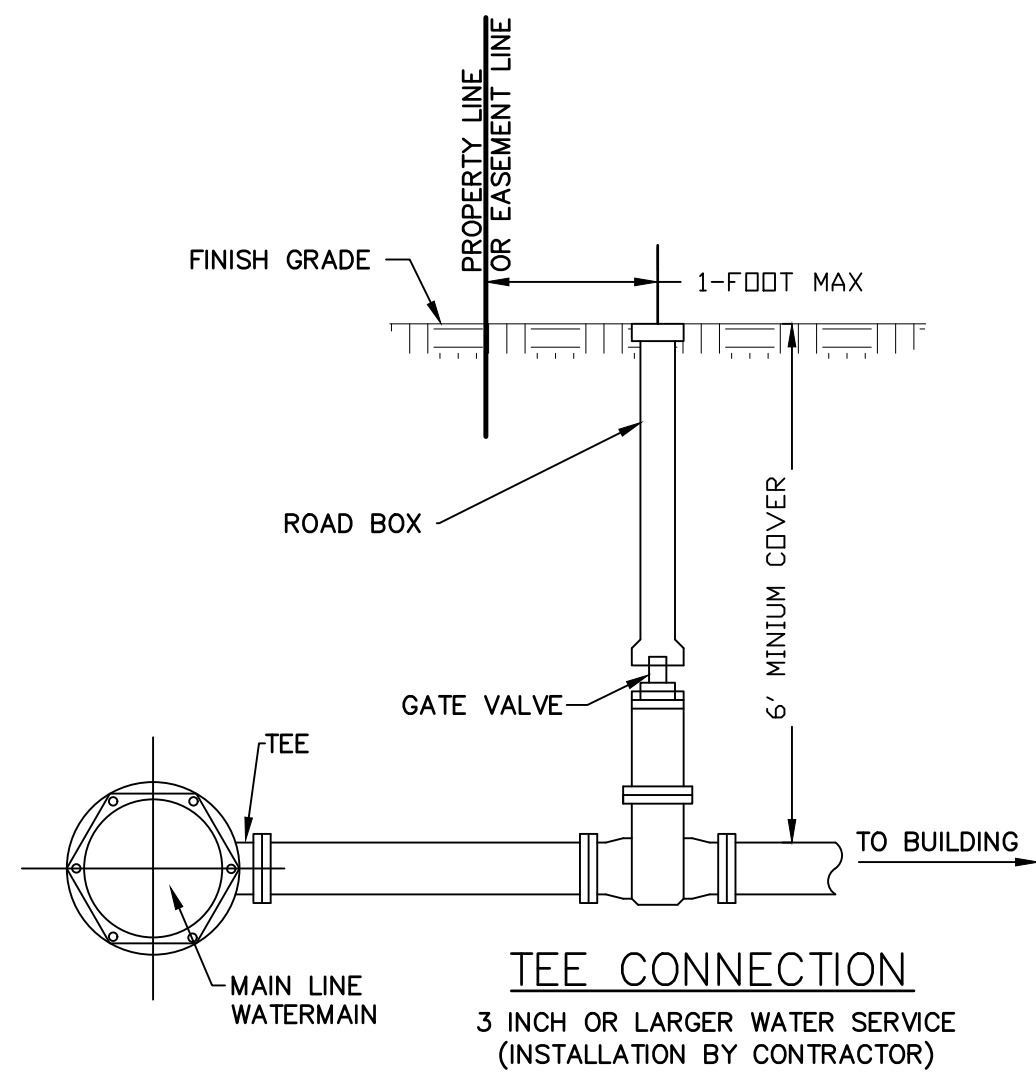
**DRAINAGE RISER DETAIL**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE



**TYPICAL CONC. WALK WITH INTEGRAL CURB DETAIL**  
NOT TO SCALE



**TEE CONNECTION**  
3 INCH OR LARGER WATER SERVICE (INSTALLATION BY CONTRACTOR)

**GENERAL NOTES:**

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY CONSTRUCTION OR PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR WHERE POSSIBLE CONFLICTS EXIST PRIOR TO BEGINNING CONSTRUCTION.

THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS, EXISTING UTILITIES, LOT AND BUILDING DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THE PLANS. ARRANGE TO HAVE UTILITIES IDENTIFIED AND FLAGGED BEFORE STARTING CONSTRUCTION. THE OWNER ASSUMES NO LIABILITY FOR THE LOCATION OF UTILITIES. ALL DAMAGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONSTRUCTION UNDER EXISTING OR PROPOSED PAVEMENT, EXISTING OR PROPOSED UTILITIES (INCLUDING LEADS), SHALL BE COMPLETELY BACKFILLED WITH SAND IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF ITS MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD. THE COST IS TO BE INCLUDED IN THE UNIT PRICE BID FOR EACH ITEM.

THE CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT PART 91 OF PUBLIC ACT 451 OF 1994, AS AMENDED. GEOTEXTILE FILTER BAGS SHALL BE USED AT ALL CATCH BASINS FOR SOIL AND SEDIMENTATION CONTROL. ALL CATCH BASINS SHALL BE CLEANED UPON COMPLETION OF THE PROPOSED PROJECT. COST FOR CLEANING THE CATCH BASINS SHALL BE INCLUDED IN THE COSTS FOR THE DRAINAGE STRUCTURES.

TOPSOIL SHALL BE STOCKPILED ON THE SITE AND USED AS TOPSOIL SURFACES AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. TOPSOIL WILL NEED TO BE SPREAD IN THE BASIN AREA TO A MINIMUM DEPTH OF 6 INCHES. THE BERMS SHOWN ON THE PLANS WILL NEED TO BE TOPSOIL OR TO HAVE A MINIMUM OF 6 INCHES ON TOPSOIL SPREAD OVER THEM. THE CURB ISLANDS WILL BE FILLED AS SPECIFIED WITH TOPSOIL. THE INTENT IS FOR THE CONTRACTOR AND THE LANDSCAPER TO USE THE EXISTING TOPSOIL TO COMPLETE THE PROJECT PRIOR TO HAULING ANY TOPSOIL ONTO THE SITE. UNSUITABLE TOPSOILS MUST BE DISPOSED OF. DURING THE CLEANUP, ANY REMAINING STOCKPILES WILL NEED TO BE REMOVED. SOIL EROSION MEASURES MUST BE TAKEN TO ASSURE THAT THESE STOCKPILES ARE STABILIZED.

THE CONTRACTOR SHALL SEED AND FERTILIZE DITCH BANKS, SOILS PILES OR BANKS AND ANY OTHER DISTURBED AREAS AS SHOWN ON THE PLANS AND/OR DESCRIBED IN THE SPECIFICATIONS.

THE CONTRACTOR SHALL BACKFILL, COMPACT AND FINE GRADE ALL AREAS BETWEEN THE CURBS AND PAVEMENT AND THE PROPERTY LINES WITH TOPSOIL SUITABLE FOR LANDSCAPING. THE GRADES IN THESE AREAS WILL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

THE UNPAVED AREAS SHALL BE SMOOTHLY GRADED AND THE SURFACE STABILIZED BY SEEDING AS STATED ON THE PLANS. THE MAXIMUM DESIRABLE SLOPE IS 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE STATED.

THE CONTRACTOR SHALL FURNISH AND INSTALL PLAIN RIP-RAP BANK PROTECTION IN AREAS WHERE BANK EROSION WILL MOST LIKELY OCCUR OR AS DIRECTED BY THE ENGINEER.

BROKEN CONCRETE AND DEBRIS SHALL BE CONSIDERED WASTE TO BE DISPOSED OF BY THE CONTRACTOR.

ALL DEWATERING REQUIRED FOR CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE BID.

ALL JOINTS AT INTERSECTION APPROACHES AND DRIVEWAYS SHALL BE SAWCUT WITH BUTT-JOINTS. THE COST SHALL BE INCLUDED WITH THE PAYMENT FOR EXCAVATION.

THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES ON THE PROJECT. THE COST IS TO BE INCLUDED IN THE LUMP SUM FEE.

ALL WATER VALVE BOXES, ELECTRICAL BOXES, GAS VALVES AND ANY OTHER EXISTING UTILITY STRUCTURES ON THE SITE SHALL BE ADJUSTED TO FINISHED GRADE. THE COST SHALL BE INCLUDED IN THE LUMP SUM FEE.

**GENERAL NOTES:**

THE SANITARY SEWER AND WATERMAIN MUST CONFORM TO UNION TOWNSHIP STANDARDS AND SPECIFICATIONS. SHOULD THERE BE A CONFLICT BETWEEN THE PLANS, NOTES, DETAILS AND SPECIFICATIONS, THE UNION TOWNSHIP STANDARDS SHALL GOVERN. THE CONTRACTOR WILL NOTIFY THE ENGINEER AS SOON AS A CONFLICT IS FOUND. INSTALLATION OF THESE UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE UNION TOWNSHIP DEPARTMENT OF PUBLIC WORKS DIRECTOR.

ELECTRIC SERVICES TO THE BUILDING AND PARKING LOT LIGHTING SHALL BE UNDERGROUND. SITE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR IN REGARDS TO CONDUIT SLEEVES.

ALL SERVICE LINES ARE SHOWN FOR REFERENCE ONLY. THE EXACT LOCATIONS TO BE DETERMINED BY THE OWNER AND/OR UTILITY COMPANY.

INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES (INCLUDING TRANSFORMER PAD LOCATIONS) SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANIES AND THE ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS REQUIRED FOR WORKING WITHIN THE ROAD RIGHT-OF-WAY PRIOR TO COMMENCING CONSTRUCTION, WITHIN THESE AREAS.

ROOF WATER FROM THE BUILDING SHALL BE DIRECTED TO DRAIN TO THE PROVIDED LEADS.

THE PROPOSED ELEVATIONS SHOWN ARE TOP OF WALK, TOP OF CURB, FINISHED ASPHALT SURFACE AND GUTTER PAN ELEVATIONS, UNLESS OTHERWISE NOTED.

ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ISABELLA COUNTY ROAD COMMISSION STANDARDS.

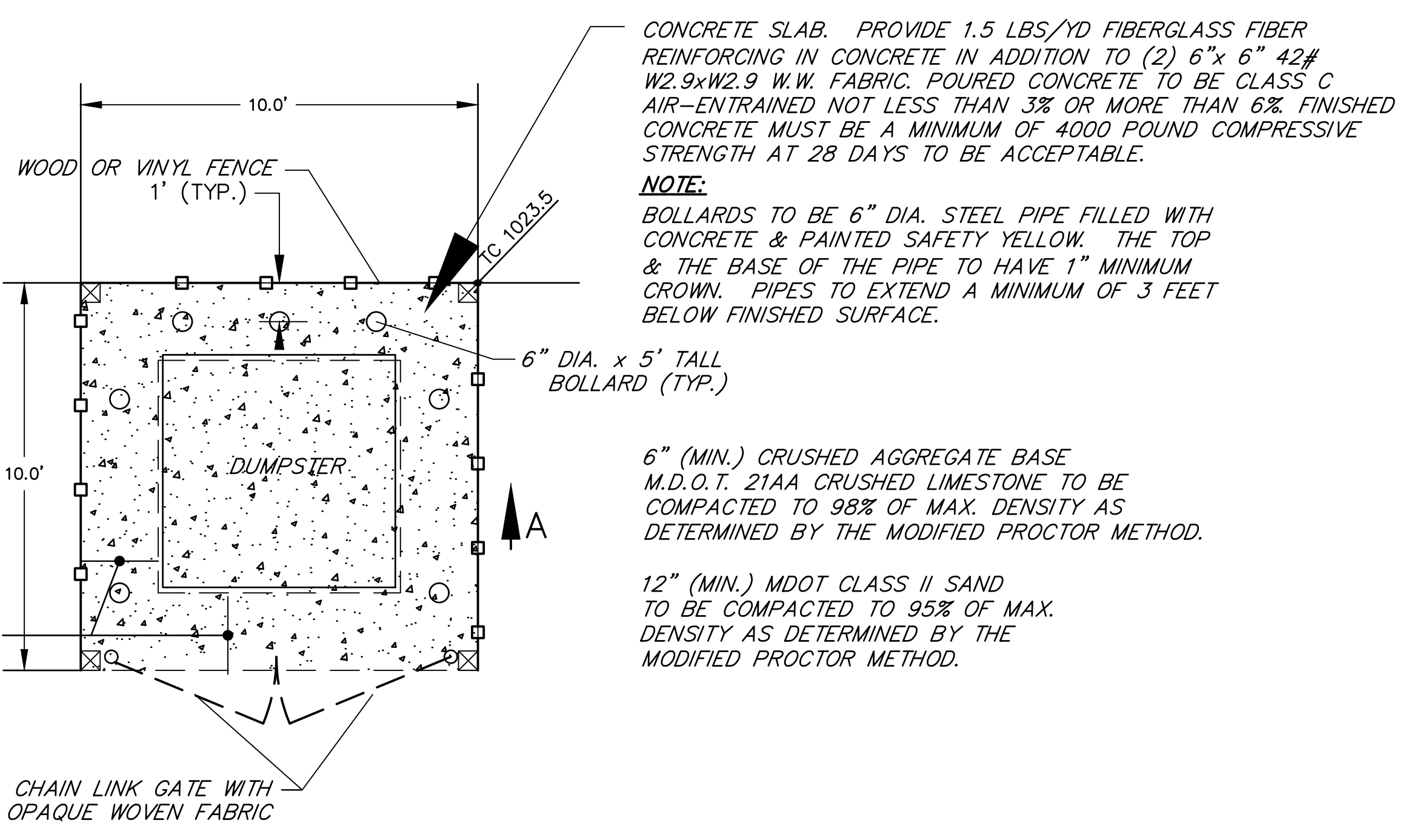
CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MICHIGAN, COUNTY OF ISABELLA AND UNION TOWNSHIP.

DIMENSIONS SHOWN ON THE PLANS ARE GIVEN TO THE BACK OF CURB, FACE OR BACK OF WALK OR THE BUILDING OUTSIDE LINES.

STANDARD PARKING SPACES SHALL BE 10 FEET BY 18 FEET. THE SPACES ARE TO BE INDICATED BY 4 INCH WIDE WHITE LINES. THE PAINT LINES ON THE SITE, EXCEPT NEAR THE BUILDING, SHALL CONFORM TO THE ENGINEER'S PLAN.

CONCRETE CURBING SHALL BE 4000 PSI CONCRETE.

ALL ABANDONED CURB STOP BOXES SHALL BE REMOVED AND SALVAGED FOR THE UNION TOWNSHIP DEPARTMENT OF PUBLIC WORKS.



**DUMPSTER PAD ENCLOSURE**  
NOT TO SCALE

CONCRETE SLAB. PROVIDE 1.5 LBS./YD FIBERGLASS FIBER REINFORCING IN CONCRETE IN ADDITION TO (2) 6"x 6" 42# W2.9xW2.9 W.W. FABRIC. Poured concrete to be class C AIR-ENTRAINED NOT LESS THAN 3% OR MORE THAN 6% FINISHED CONCRETE MUST BE A MINIMUM OF 4000 POUND COMPRESSIVE STRENGTH AT 28 DAYS TO BE ACCEPTABLE.

**NOTE:**  
BOLLARDS TO BE 6" DIA. STEEL PIPE FILLED WITH CONCRETE & PAINTED SAFETY YELLOW. THE TOP & THE BASE OF THE PIPE TO HAVE 1" MINIMUM CROWN. PIPES TO EXTEND A MINIMUM OF 3 FEET BELOW FINISHED SURFACE.

6" (MIN.) CRUSHED AGGREGATE BASE M.D.O.T. 21AA CRUSHED LIMESTONE TO BE COMPACTED TO 98% OF MAX. DENSITY AS DETERMINED BY THE MODIFIED PROCTOR METHOD.

12" (MIN.) MDOT CLASS II SAND TO BE COMPACTED TO 95% OF MAX. DENSITY AS DETERMINED BY THE MODIFIED PROCTOR METHOD.



SCALE	N/A	JOB NUMBER:	1804-023
SHEET NUMBER	8 OF 8	SUBMITTAL TO TWP. PLANNING	3-4-19
DESIGNED BY:	TELB	DRAWN BY:	WRE
CHECKED BY:	TELB		





## Jennifer Loveberry

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**From:** Peter Gallinat  
**Sent:** Wednesday, March 13, 2019 1:47 PM  
**To:** Jennifer Loveberry  
**Subject:** FW: Comments on Dr. Yacisen and McDonalds  
**Attachments:** DR YACISEN SITE PLAN 2019-02-28.pdf

See email below and attachment above.

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)

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**From:** Pat Gaffney <[PGaffney@isabellaroads.com](mailto:PGaffney@isabellaroads.com)>  
**Sent:** Wednesday, March 13, 2019 1:08 PM  
**To:** Peter Gallinat <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>  
**Cc:** Timothy Bebee <[tbebee@cms-d.com](mailto:tbebee@cms-d.com)>  
**Subject:** FW: Comments on Dr. Yacisen and McDonalds

Forgot the attachement

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**From:** Pat Gaffney  
**Sent:** Wednesday, March 13, 2019 1:04 PM  
**To:** 'Peter Gallinat'  
**Cc:** 'Timothy Bebee'; Tim Warner ([twarner@isabellacounty.org](mailto:twarner@isabellacounty.org))  
**Subject:** RE: Comments on Dr. Yacisen and McDonalds

Peter,

See attached comments from Dr. Yacisen office site plan review. Questions are regarding curb grades and distance from centerline to back of curb and distance between the curbs. Also, it appears that an open cut is desired for the storm sewer. I believe that storm drain is a part of the county drain system.

A permit will be required for the two driveways. Performance bond in the amount of the improvement to be done within the ROW will be required at the time the permit is issued.

If you have any questions regarding this review please give me a call.

Patrick J. Gaffney, PE  
Engineer Superintendent  
Isabella CRC  
989-773-7131 x115  
989-772-2371 fax  
[pgaffney@isabellaroads.com](mailto:pgaffney@isabellaroads.com)

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**From:** Peter Gallinat [<mailto:pgallinat@uniontownshipmi.com>]  
**Sent:** Wednesday, March 13, 2019 11:34 AM  
**To:** Pat Gaffney  
**Subject:** Comments on Dr. Yacisen and McDonalds

Pat, I am looking to see if you have any comments on the Site Plans for McDonalds at 1963 E. Remus Rd. Or Dr. Yacisen's medical office on 5316 E. Pickard.

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)

# DR. JOSEPH YACISEN, D.O.

## SITE PLAN

03-13-2019 Isabella CRC review comments of site plan  
 Distance from CL to back of curb? Distance back of curb to back of curb?  
 Open cut for storm sewer. Curb grades how much fall is across the driveways? (M-opening?)



**LOCATION SKETCH**  
NOT TO SCALE

ZONED B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT	
MINIMUM LOT AREA	20,000 SQ. FT.
MINIMUM LOT WIDTH	130 FT
MAXIMUM STRUCTURE HEIGHT	35 FT (D)
MINIMUM FRONT YARD SETBACK	15 FT (E)
MINIMUM SIDE YARD SETBACK	10 FT (E)
MINIMUM REAR YARD SETBACK	10 FT (E)
MAXIMUM LOT COVERAGE	30% (D)

- (D) SEE SECTION 24.4, E OF UNION TOWNSHIP ZONING ORDINANCE  
 (E) SEE SECTION 24.4, B OF UNION TOWNSHIP ZONING ORDINANCE

**MISS DIG:**  
 FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

**UTILITY NOTE:**  
 THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

### LEGEND

#### SYMBOLS

○ BOLLARD	☐ GAS RISER	⊙ SOIL BORING
▭ CATCH BASIN (CURB INLET)	⚡ GUY ANCHOR	⊕ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	⚡ HYDRANT - EXISTING	⊕ STORM SEWER RISER
⊠ CATCH BASIN (SQUARE)	⚡ HYDRANT - PROPOSED	☐ TELEPHONE RISER
⊙ CLEAN OUT	⚡ LIGHT POLE	● TREE - CONIFEROUS
⇒ DRAINAGE FLOW	⊕ MAILBOX	● TREE - DECIDUOUS
☐ ELECTRICAL BOX	⊕ MONITORING WELL	⚡ UTILITY POLE
⊙ FOUND CONC. MONUMENT	⊕ SANITARY SEWER MANHOLE	⚡ WATER MAIN VALVE
○ FOUND IRON	● SET IRON	⚡ WATER SHUT-OFF
⚡ GAS MAIN VALVE	⚡ SIGN	⊕ GAS METER

LINE TYPES	HATCH PATTERNS
—ELEC— BURIED ELECTRICAL CABLE	▨ ASPHALT - EXISTING
—PHONE— BURIED TELEPHONE CABLE	▨ ASPHALT - PROPOSED
—DITCH-CL— CENTERLINE OF DITCH	▨ CONCRETE
—FM— FORCE MAIN	▨ GRAVEL
—GAS— GAS MAIN	▨ LANDSCAPING
—RD-CL— ROAD CENTERLINE	▨ RIP-RAP
—8" SAN— SANITARY SEWER	▨ EXISTING BUILDING
—12" SS— STORM SEWER	
—EX-TOS— TOE OF SLOPE	
—EX-TOB— TOP OF BANK	
—OHE— UTILITIES - OVERHEAD	
—UTL— UTILITIES - UNDERGROUND	
—12" WM— WATER MAIN	

**PROPERTY DESCRIPTION**  
 LOTS 1 AND 2, BLOCK 3 OF THE MAP OF GARDEN GROVE AND THE NORTH 1/2 OF THE VACATED ALLEY.

SHEET INDEX	
1	COVER SHEET
2	EXISTING TOPOGRAPHY
3	SITE/LANDSCAPING PLAN
4	SITE HORIZONTAL PLAN
5	GRADING PLAN
6	STORM/SOIL EROSION PLAN
7	DETAIL SHEET

**BENCHMARK:**  
 BM #1 - SET RAILROAD SPIKE IN POWER POLE ±139 FEET SOUTH OF THE CENTERLINE OF PICKARD ROAD (M-20) AND ±26 FEET EAST OF THE CENTERLINE OF SECOND STREET.

**BEARING BASIS:**  
 PER GEODETIC OBSERVATION WGS-84 THE BEARING ALONG THE NORTH LINE OF BLOCK 3 WAS DETERMINED TO S88°-37'-28"E

**SITE:** 5316 E PICKARD ROAD  
MT. PLEASANT, MI 48858

**CLIENT:** DR. JOSEPH YACISEN, D.O.  
1750 EAST BELLOWS STREET  
MT. PLEASANT, MI 48858  
CONTACT: DR. JOSEPH YACISEN, D.O.  
PHONE: (989) 350-6098

**CONSULTANT:** CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.  
510 W. PICKARD STREET - SUITE C  
MT. PLEASANT, MI 48858  
CONTACT PERSON: TIMOTHY E BEBEE  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

<p><b>CHARTER COMMUNICATIONS</b> 915 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 (989) 621-4932 RANDY BUNKER rbunker@chartercom.com</p> <p><b>CONSUMERS ENERGY</b> 1325 WRIGHT AVENUE ALMA, MI 48801 (989) 466-4282 MARK A. MARSHALL Mark.Marshall@tr.com</p> <p><b>FRONTIER</b> 345 PINE STREET ALMA, MI 48801 (989) 463-0392 MARK A. MARSHALL Mark.Marshall@tr.com</p> <p><b>DTE ENERGY</b> 4420 44TH ST., S.E., SUITE B KENTWOOD, MI 49512 (213) 347-1653 ERNESTINA MORENO ernestina.moreno@dteenergy.com</p> <p><b>MT. PLEASANT FIRE DEPARTMENT</b> 804 EAST HIGH STREET MT. PLEASANT, MI 48858 (989) 779-5100 EXT 5122 SGT. RANDY KEELER rkeeler@mt-pleasant.org</p>	<p><b>CHARTER TOWNSHIP OF UNION</b> PUBLIC WATER/PUBLIC SEWER 2010 N. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 24 KIM SMITH ksmith@uniontownshipmi.com</p> <p><b>CHARTER TOWNSHIP OF UNION</b> PLANNING &amp; ZONING 2010 NORTH LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 241 PETER GALLINAT pgallinat@uniontownshipmi.com</p> <p><b>DRAIN COMMISSIONERS OFFICE</b> ISABELLA COUNTY BUILDING 200 NORTH MAIN STREET ROOM 140 MT. PLEASANT, MI 48857 (989) 772-0911 ROBERT WILLOUGHBY drain@isabellacounty.org</p> <p><b>ISABELLA COUNTY ROAD COMMISSION</b> 2261 EAST REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131 EXT 115 PATRICK GAFFNEY Pgaffney@isabellaroads.com</p>
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**CMS & D**

SURVEYING / ENGINEERING

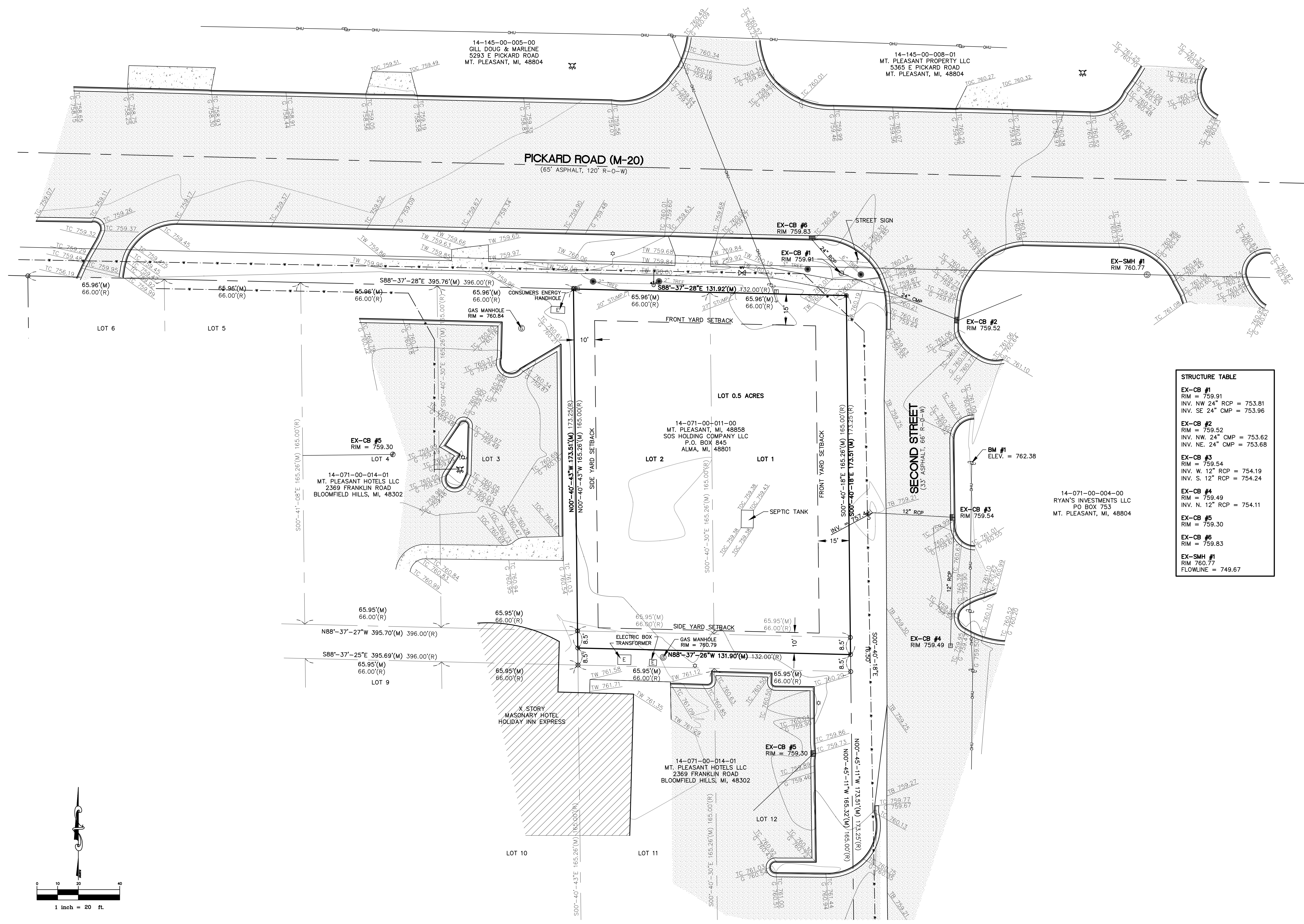
2957 E. BROOMFIELD RD.  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

**COVER SHEET**

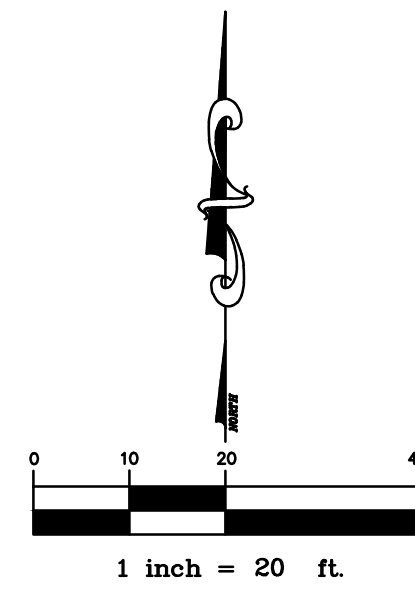
DR. JOSEPH YACISEN, D.O.

LOTS 1 AND 2, BLK 3 MAP OF GARDEN GROVE  
CITY OF MT. PLEASANT, ISABELLA COUNTY, MICHIGAN

REVISIONS:	
SUBMITTALS:	
JOB NUMBER:	1804-023
DRAWN BY:	WRE
DESIGNED BY:	TELB
CHECKED BY:	TELB
SCALE:	N/A
SHEET NUMBER:	1 of 7



STRUCTURE TABLE	
EX-CB #1	RIM = 759.91 INV. NW 24" RCP = 753.81 INV. SE 24" CMP = 753.96
EX-CB #2	RIM = 759.52 INV. NW 24" CMP = 753.62 INV. NE 24" CMP = 753.68
EX-CB #3	RIM = 759.54 INV. W 12" RCP = 754.19 INV. S 12" RCP = 754.24
EX-CB #4	RIM = 759.49 INV. N 12" RCP = 754.11
EX-CB #5	RIM = 759.30
EX-CB #6	RIM = 759.83
EX-SMH #1	RIM = 760.77 FLOWLINE = 749.67



**CMS & D**  
 SURVEYING / ENGINEERING  
 2257 E. BROOMFIELD RD.  
 MT. PLEASANT, MICHIGAN, 48858  
 PHONE: (989) 775-0756  
 FAX: (989) 775-5012  
 EMAIL: info@cms-d.com



**EXISTING TOPOGRAPHY**  
 DR. JOSEPH YACISEN, D.O.  
 LOTS 1 AND 2, BLK 3 MAP OF GARDEN GROVE  
 CITY OF MT. PLEASANT, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
 SUBMITTAL TO TWP. PLANNING 3-4-19

JOB NUMBER:  
 1804-023  
 DRAWN BY:  
 WRE  
 DESIGNED BY:  
 TELB  
 CHECKED BY:  
 TELB

SCALE  
 1" = 20'  
 SHEET NUMBER  
 2 OF 7



**SITE/LANDSCAPE PLAN**  
 DR. JOSEPH YACISEN, D.O.  
 SECTION 13 T14N-R4W  
 LOTS 1 AND 2, BLK 3 MAP OF GARDEN GROVE  
 CITY OF MT. PLEASANT, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:  
 SUBMITTAL TO TWP. PLANNING 3-4-19

JOB NUMBER:  
 1804-023

SCALE  
 1" = 20'

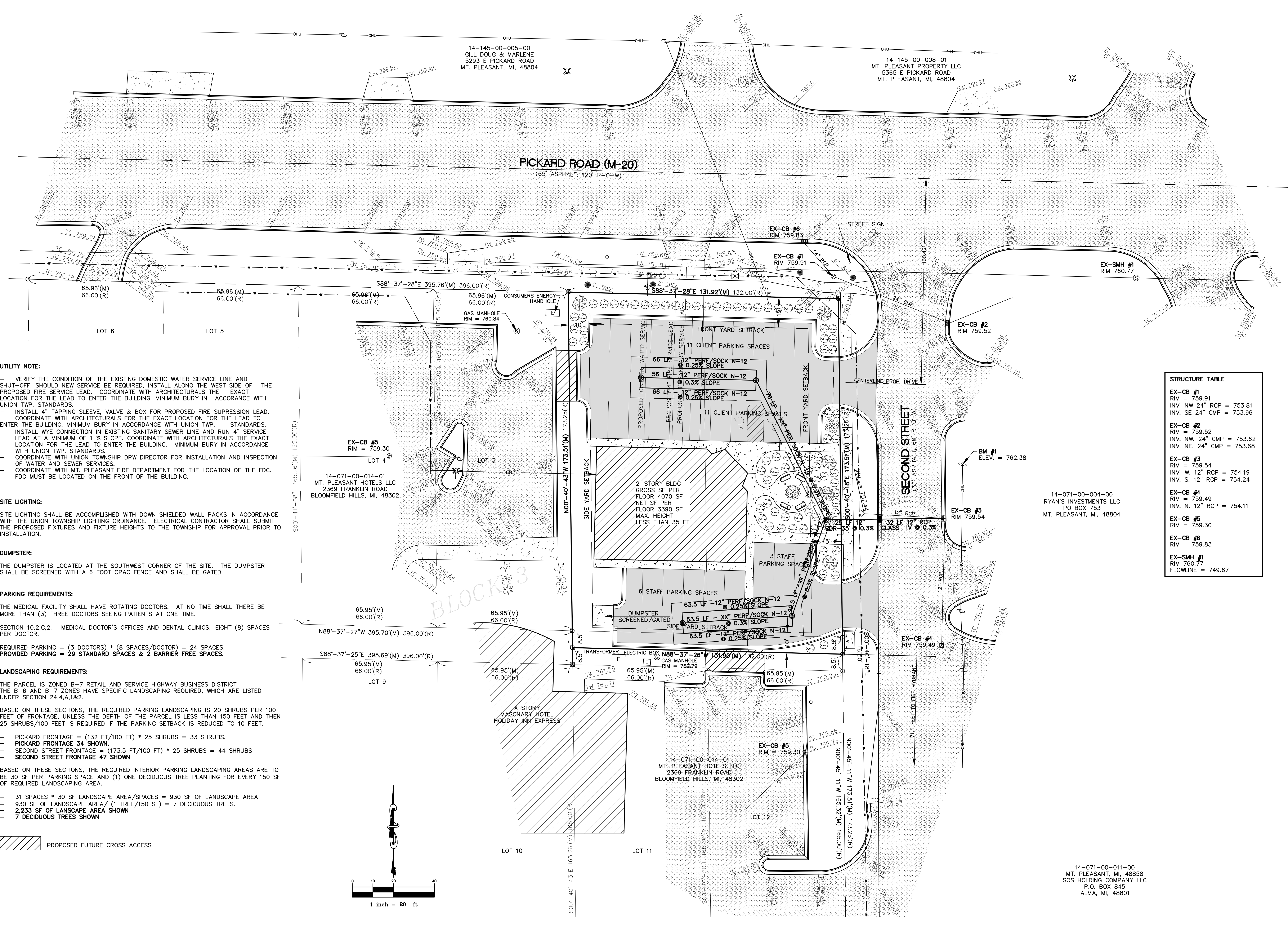
DRAWN BY:  
 TELB

SHEET NUMBER  
 3 OF 7

DESIGNED BY:  
 TELB

CHECKED BY:  
 TELB

14-071-00-011-00  
 MT. PLEASANT, MI, 48858  
 SOS HOLDING COMPANY LLC  
 P.O. BOX 845  
 ALMA, MI, 48801



**UTILITY NOTE:**

- VERIFY THE CONDITION OF THE EXISTING DOMESTIC WATER SERVICE LINE AND SHUT-OFF. SHOULD NEW SERVICE BE REQUIRED, INSTALL ALONG THE WEST SIDE OF THE PROPOSED FIRE SERVICE LEAD. COORDINATE WITH ARCHITECTURALS THE EXACT LOCATION FOR THE LEAD TO ENTER THE BUILDING. MINIMUM BURY IN ACCORDANCE WITH UNION TWP. STANDARDS.
- INSTALL 4" TAPPING SLEEVE, VALVE & BOX FOR PROPOSED FIRE SUPPRESSION LEAD. COORDINATE WITH ARCHITECTURALS FOR THE EXACT LOCATION FOR THE LEAD TO ENTER THE BUILDING. MINIMUM BURY IN ACCORDANCE WITH UNION TWP. STANDARDS.
- INSTALL WYE CONNECTION IN EXISTING SANITARY SEWER LINE AND RUN 4" SERVICE LEAD AT A MINIMUM OF 1% SLOPE. COORDINATE WITH ARCHITECTURALS THE EXACT LOCATION FOR THE LEAD TO ENTER THE BUILDING. MINIMUM BURY IN ACCORDANCE WITH UNION TWP. STANDARDS.
- COORDINATE WITH UNION TOWNSHIP DPW DIRECTOR FOR INSTALLATION AND INSPECTION OF WATER AND SEWER SERVICES.
- COORDINATE WITH MT. PLEASANT FIRE DEPARTMENT FOR THE LOCATION OF THE FDC. FDC MUST BE LOCATED ON THE FRONT OF THE BUILDING.

**SITE LIGHTING:**

SITE LIGHTING SHALL BE ACCOMPLISHED WITH DOWN SHIELDED WALL PACKS IN ACCORDANCE WITH THE UNION TOWNSHIP LIGHTING ORDINANCE. ELECTRICAL CONTRACTOR SHALL SUBMIT THE PROPOSED FIXTURES AND FIXTURE HEIGHTS TO THE TOWNSHIP FOR APPROVAL PRIOR TO INSTALLATION.

**DUMPSTER:**

THE DUMPSTER IS LOCATED AT THE SOUTHWEST CORNER OF THE SITE. THE DUMPSTER SHALL BE SCREENED WITH A 6 FOOT OPAC FENCE AND SHALL BE GATED.

**PARKING REQUIREMENTS:**

THE MEDICAL FACILITY SHALL HAVE ROTATING DOCTORS. AT NO TIME SHALL THERE BE MORE THAN (3) THREE DOCTORS SEEING PATIENTS AT ONE TIME.

SECTION 10.2.C.2: MEDICAL DOCTOR'S OFFICES AND DENTAL CLINICS: EIGHT (8) SPACES PER DOCTOR.

REQUIRED PARKING = (3 DOCTORS) \* (8 SPACES/DOCTOR) = 24 SPACES.  
 PROVIDED PARKING = 29 STANDARD SPACES & 2 BARRIER FREE SPACES.

**LANDSCAPING REQUIREMENTS:**

THE PARCEL IS ZONED B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT. THE B-6 AND B-7 ZONES HAVE SPECIFIC LANDSCAPING REQUIRED, WHICH ARE LISTED UNDER SECTION 24.4.A.1&2.

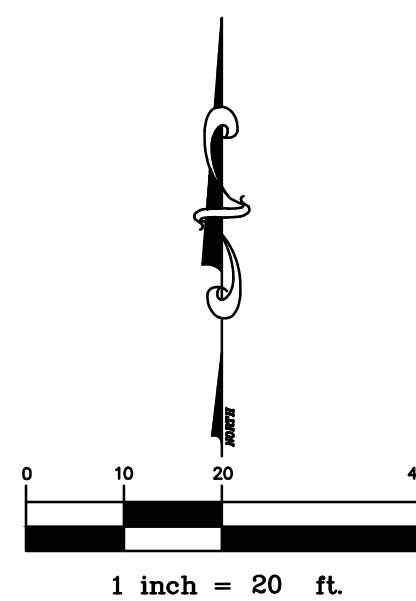
BASED ON THESE SECTIONS, THE REQUIRED PARKING LANDSCAPING IS 20 SHRUBS PER 100 FEET OF FRONTAGE, UNLESS THE DEPTH OF THE PARCEL IS LESS THAN 150 FEET AND THEN 25 SHRUBS/100 FEET IS REQUIRED IF THE PARKING SETBACK IS REDUCED TO 10 FEET.

- PICKARD FRONTAGE = (132 FT/100 FT) \* 25 SHRUBS = 33 SHRUBS.
- PICKARD FRONTAGE 34 SHOWN.
- SECOND STREET FRONTAGE = (173.5 FT/100 FT) \* 25 SHRUBS = 44 SHRUBS
- SECOND STREET FRONTAGE 47 SHOWN

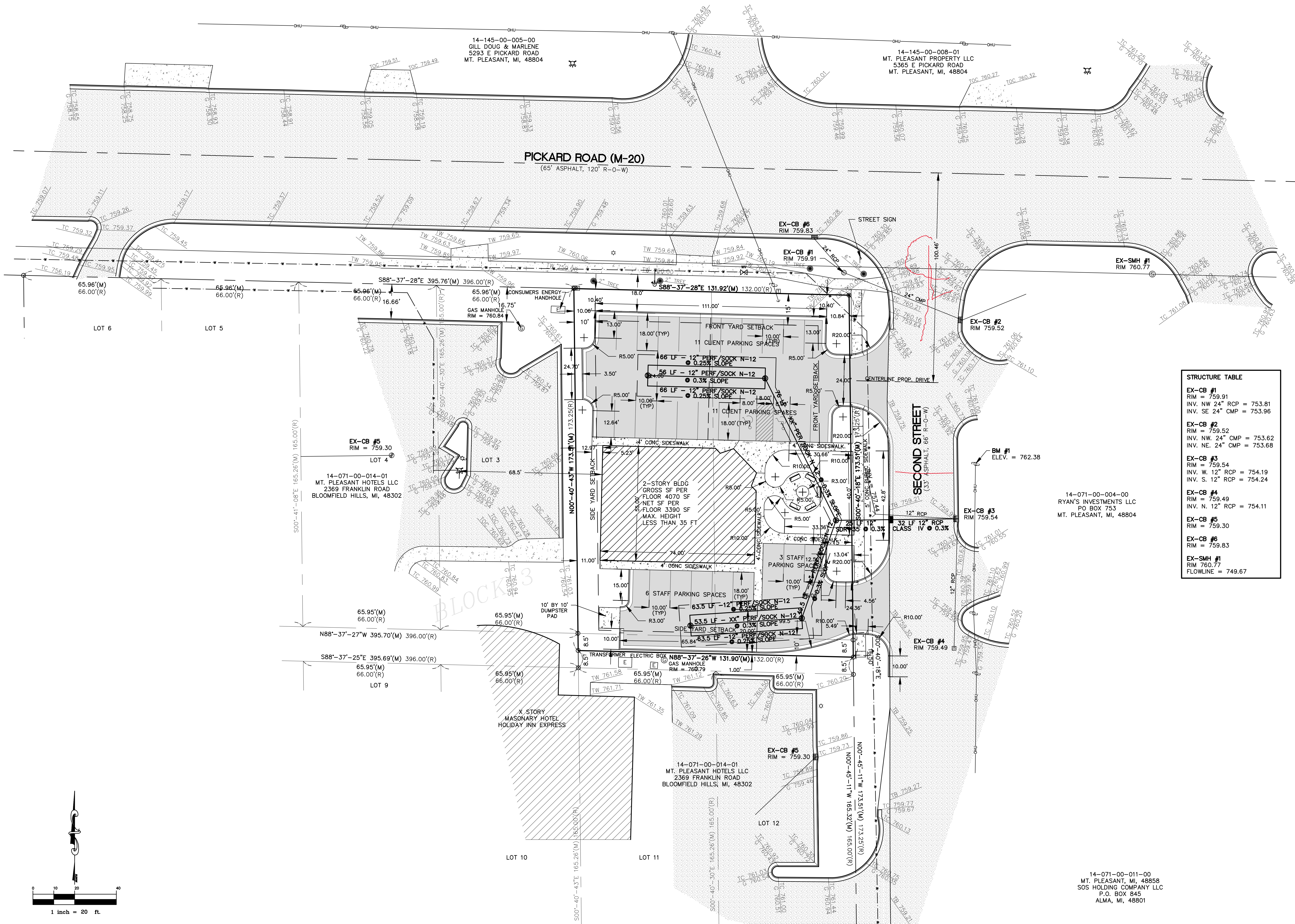
BASED ON THESE SECTIONS, THE REQUIRED INTERIOR LANDSCAPING AREAS ARE TO BE 30 SF PER PARKING SPACE AND (1) ONE DECIDUOUS TREE PLANTING FOR EVERY 150 SF OF REQUIRED LANDSCAPING AREA.

- 31 SPACES \* 30 SF LANDSCAPE AREA/SPACES = 930 SF OF LANDSCAPE AREA
- 930 SF OF LANDSCAPE AREA / (1 TREE/150 SF) = 7 DECIDUOUS TREES.
- 2,233 SF OF LANDSCAPE AREA SHOWN
- 7 DECIDUOUS TREES SHOWN

PROPOSED FUTURE CROSS ACCESS



STRUCTURE TABLE	
EX-CB #1	RIM = 759.91 INV. NW 24" RCP = 753.81 INV. SE 24" CMP = 753.96
EX-CB #2	RIM = 759.52 INV. NW 24" CMP = 753.62 INV. NE 24" CMP = 753.68
EX-CB #3	RIM = 759.54 INV. W 12" RCP = 754.19 INV. S 12" RCP = 754.24
EX-CB #4	RIM = 759.49 INV. N 12" RCP = 754.11
EX-CB #5	RIM = 759.30
EX-CB #6	RIM = 759.83
EX-SMH #1	RIM 760.77 FLOWLINE = 749.67



**STRUCTURE TABLE**

<b>EX-CB #1</b>	RIM = 759.91
	INV. NW 24" RCP = 753.81
	INV. SE 24" CMP = 753.96
<b>EX-CB #2</b>	RIM = 759.52
	INV. NW 24" CMP = 753.62
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<b>EX-CB #3</b>	RIM = 759.54
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<b>EX-CB #4</b>	RIM = 759.49
	INV. N 12" RCP = 754.11
<b>EX-CB #5</b>	RIM = 759.30
<b>EX-CB #6</b>	RIM = 759.83
<b>EX-SMH #1</b>	RIM = 760.77
	FLOWLINE = 749.67

SCALE	1" = 20'
SHEET NUMBER	4 OF 7
JOB NUMBER:	1804-023
DRAWN BY:	TELB
DESIGNED BY:	TELB
CHECKED BY:	TELB
SUBMITTALS:	SUBMITTAL TO TWP. PLANNING 3-4-19
REVISIONS:	

14-071-00-011-00  
 MT. PLEASANT, MI, 48858  
 SOS HOLDING COMPANY LLC  
 P.O. BOX 845  
 ALMA, MI, 48801

**S**am **B**er **E**ngineering

Bruce E. Rohrer, P.E.  
1216 E. Gaylord Street  
Mt. Pleasant, Michigan 48858  
(989) 330-2150

March 12, 2019

Peter Galliant  
Charter Township of Union, Planner  
2010 South Lincoln Road  
Mt. Pleasant, Michigan 48858

Re: Storm Water Management Plan for Dr. Joseph Yacisen's Medical Building.


Dear Mr. Galliant:

I have reviewed the Storm Water Management Plan prepared by Tim Bebee of CMS&D Surveying /Engineering for the above captioned project located in part of the NE  $\frac{1}{4}$  of the NW  $\frac{1}{4}$  of Section 13, Union Township, located at 5316 E. Pickard Road. The proposed plan is consistent with the Union Township Storm Water Ordinance.

However, connection for the stormwater outlet to the Hance Improvement Drain will require a Permit to Connect to the County Drain and the Landowner to give a permanent easement, for access to the sites storm water control structure, for inspection, operation and maintenance of the Hance Improvement Drain as necessary.

If you have any questions or need any further information, please feel free to contact me in my office.

Sincerely,

  
Bruce E. Rohrer, P.E.  
Consulting Engineer  
Isabella County

BER/taw  
cc: Tim Bebee, CMS&D



**Mount Pleasant Fire Department**  
**804 E. High Street**  
**Mount Pleasant, Mi 48858**

**Union Township Site Plan Review**

Monday March 4, 2019

**Private Property**

5316 E Pickard RD  
Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Monday March 4, 2019 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

---

**Violation Code**

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1 PROPERTY Identification

5316 E Pickard Rd.

Proposed 2 story business office with approximately 8140 sq. ft.

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ACCESS ROAD 150 FT Buildings within 150ft of Access Road

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.

Site plan meets above requirements.

---

ACCESS ROAD LOAD Designed and Maintained to Support the

All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.

---

ACCESS ROAD OBSTRUCTED Dimensions and Clearances

All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5,



## Union Township Site Plan Review

Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)

Site plan meets above requirements.

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### BUILDING IDENTIFICATION Buildings Shall Have Address

Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.

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### DUMPSTERS Dumpster Locations

Dumpster's and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines in accordance with Chapter 3, Section 304, and 304.3.3 of the 2012 Edition of the International Fire Code.

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### HYDRANT DISTANCE Hydrant maximum distance from buildings

Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

Site plan meets above requirements.

---

### KNOX BOX Knox Box Requirements and Location

Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to [Knoxbox.com](http://Knoxbox.com) and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)

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### WATER SUPPLY (SPACING) Number and Spacing of Hydrants

Provide fire hydrant locations in accordance with Chapter 5, Section 507.5.1 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code.

## Union Township Site Plan Review

The required fire flow for an 8,140 sq. ft. type v-b construction building is 2500gpm. A total a three hydrants are required for water supply. The existing public hydrants to the south and one on the north side of Pickard meet the above water flow requirements.

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GENERAL STATEMENT List Not All-Inclusive

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If the building becomes sprinkled then an additional hydrant will be required within 150' of the front side of the building.

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**Keeler, Randy**  
**Lieutenant**  
**Mount Pleasant Fire Department**

## Jennifer Loveberry

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**From:** Peter Gallinat  
**Sent:** Wednesday, March 13, 2019 11:23 AM  
**To:** Jennifer Loveberry  
**Subject:** FW: Dr. Yacisen Site Plan Review

See below.

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
pgallinat@uniontownshipmi.com

---

**From:** Rick Collins <[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)>  
**Sent:** Tuesday, March 05, 2019 10:32 AM  
**To:** [info@cms-d.com](mailto:info@cms-d.com)  
**Cc:** Peter Gallinat <[pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com)>  
**Subject:** RE: Dr. Yacisen Site Plan Review

Yes. I have reviewed the plan and have no issues.



**Rick Collins | Executive Director**  
2100 E. Transportation Dr | Mt. Pleasant, MI 48858  
Phone 989.773.6766 | Fax 989.773.1873  
[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)  
Visit our website at [ictcbus.com](http://ictcbus.com)

---

**From:** [info@cms-d.com](mailto:info@cms-d.com) [<mailto:info@cms-d.com>]  
**Sent:** Tuesday, March 05, 2019 10:03 AM  
**To:** Rick Collins <[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)>  
**Subject:** FW: Dr. Yacisen Site Plan Review

Rick,

Did you get a chance to review the plan?

Shanee Thayer  
Office Manger



2257 East Broomfield Road  
Mt. Pleasant, MI 48858  
Phone: 989-775-0756  
Fax: 989-775-5012  
Email: [info@cms-d.com](mailto:info@cms-d.com)

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From: [info@cms-d.com](mailto:info@cms-d.com) <[info@cms-d.com](mailto:info@cms-d.com)>  
Sent: Thursday, February 28, 2019 10:52 AM  
To: Rick Collins ([rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)) <[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)>  
Subject: Dr. Yacisen Site Plan Review

Rick,

Attached is our submittal for Dr. Yacisen Site Plan to Union Township.

Please review and let us know your comments or questions.

Shanee Thayer  
Office Manger



2257 East Broomfield Road  
Mt. Pleasant, MI 48858  
Phone: 989-775-0756  
Fax: 989-775-5012  
Email: [info@cms-d.com](mailto:info@cms-d.com)



Virus-free. [www.avq.com](http://www.avq.com)

## Jennifer Loveberry

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**From:** Peter Gallinat  
**Sent:** Wednesday, March 13, 2019 11:23 AM  
**To:** Jennifer Loveberry  
**Subject:** FW: Site Plan Review - Parcel Number 14-071-00-011-00

For 5316 E. Pickard.

Peter Gallinat  
Township Planner  
Charter Twp of Union  
2010 S. Lincoln Rd.  
Mt Pleasant, MI 48858  
989-772-4600 x 241  
pgallinat@uniontownshipmi.com

---

**From:** Kim Smith  
**Sent:** Wednesday, March 06, 2019 12:46 PM  
**To:** Peter Gallinat <pgallinat@uniontownshipmi.com>  
**Cc:** info@cms-d.com; Timothy Bebee <tbebee@cms-d.com>  
**Subject:** Site Plan Review - Parcel Number 14-071-00-011-00

Peter,  
Good afternoon, I have reviewed the site plan for parcel number 14-071-00-011-00, which is located on the corner of Pickard Street and Second Street. These comments pertain to site plan approval only.

The parcel indicated on the site plan have township water and sewer available on Pickard Street. The parcel currently has an existing 1" water service and sewer lead available to the site. Prior to permits being issued for this project full plans, specifications, and profiles for any new water and sewer leads will need to be reviewed and approved by the Township Department of Public Services.

Thank you,

**Kim Smith**



Department of Public Services  
Charter Township of Union  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858  
Phone (989) 772-4600 ext. 224  
Fax (989) 773-1988

Visit us on the Web at  
<http://www.uniontownshipmi.com>

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